

Agenda
Tolland Inland Wetlands Commission
Council Chambers, 6th level, 21 Tolland Green, Tolland, CT 06084
Thursday, March 14, 2024 at 7:00 p.m.

1. Call to Order
2. Seating of Alternate(s)
3. Public Participation – Issues of concern not on the Agenda (2 minute limit)
4. Additions/Changes to Agenda
5. New Business
 - 5.1 **24-1 – 398 Grant Hill Road** – Requests approval for construction of a 120’ x 62’ Barn and a 48’ x 60’ barn both with a lean too o n the side within the Upland Review Area. Approximately 0.24 acres of disturbance in the Upland Review Area. Applicant: Kenneth Kaplan.
 - 5.2 **24-2 674 Tolland Stage Road** – Requests to construct a pickleball court within the Upland Review Area. Approximately 2584 sqft of disturbance. Applicant: Town of Tolland.
6. Old Business
7. Wetlands Agent Report
 - 7.1 2024 Expiring Permits
8. Other Business
9. Correspondence
 - 9.1 Fieldstone Ridge Quarterly Reports
10. Approval of Minutes – February 15, 2024 Regular Meeting
11. Adjournment

To join the Zoom Meeting, either click:

<https://us02web.zoom.us/j/8608713602?pwd=cXZLNi9SWVlvNkNjZU9NYUxCd2xiUT09>

One tap mobile: +16469313860,,8608713602#,,,,*06084#

Or call: 1-929-205-6099 and input:

Meeting ID: 860 871 3602

Passcode: 06084

Any party needing an accommodation contact the Planning & Development Department at
(860) 871-3601 or via email @mdamato@tollandct.gov
The Town of Tolland is an Equal Opportunity/Affirmative Action Employer.

3. Wetland and Upland Review Area Information * These questions are mandatory

Has the property been delineated by a Certified Soil Scientist? No Yes

If YES, what year did the delineation occur? 2023 & 2002

What is wetland delineation?

Delineation is an act of locating the boundary or border of a wetland or waterbody. Delineation also includes describing the functions and values the water system provides the geographical location. In the state of Connecticut only a certified Soil Scientist is recognized as being able to perform a wetland or watercourse delineation.

A watercourse is defined as:

Rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs, and all other bodies of water, natural or artificial, vernal or intermittent, public or private.

An upland review area is defined as:

An area extending a minimum of 50-feet from the edge of wetlands and/or 100-feet from any watercourse (refer to regulations when doubling of an upland review area is required).

***Wetlands (indicate amount of wetlands and disturbed wetlands on property)**

Total area by Town Map = _____ acres Total area by Soil Scientist 12.05 acres
Disturbed area by Town Map = _____ acres Disturbed area by Soil Scientist NONE acres

***Watercourses (indicate amount of disturbance for each swamp, bog, marsh or ponds)**

Total area by Town Map = _____ acres Total area by Soil Scientist _____ acres
Disturbed area by Town Map = _____ acres Disturbed area by Soil Scientist NONE acres

***Upland Review Area (100 ft. measured from nearest point of wetlands or watercourse boundaries)**

Total area by Town Map = _____ acres Total area by Soil Scientist 19.4 acres
Disturbed area by Town Map = _____ acres Disturbed area by Soil Scientist 0.24 acres

4. Alternatives

* Please explain to the Commission the reason you chose this location for your proposed activity or project. What alternatives have been considered to avoid altering wetlands or watercourses? (use additional paper if necessary)

* This question is mandatory for projects deemed to be a significant activity by the commission.

The proposed Barn locations are next to the Existing House and will use the same 900' long access and preserve one of the last Farm

Fields in Tolland. The larger barn has been positioned to allow for large vehicles to travel around the existing house and drive safely

into the barn. The applicant determined the large barn location after many trials of the vehicular movements to park large vehicles inside the barn.

The location of the smaller barn was selected to conform with the required side yard zoning setback and provide access off the existing driveway.

5. Abutters

Providing abutters only applies if the application requires a public hearing. Tolland's Planning & Development Department will supply the applicant with the names and addresses of adjacent property owners. **There is a public hearing fee of \$300.**

6. Site Plan Maps ***Application Requirement**

7. Additional Information

Supply any other information that would help in the understanding of the proposed activity.

The 62 acre Kaplan Family Farm is one of the last USDA listed Grade A soil farm fields left in Tolland. Purchased over 24 years ago from the Harron Family, the farm was owned by two families since the colonists, The Harron Family from 1740 to 1999 and the Kaplan

8. A Complete Application Consists Of

1. This permit application fully filled out.
2. Signatures & Seals of licensed or certified professionals.
3. Filing fee
4. **One (1) electronic copy** of the application.
5. **Three (3) full size and six (6) 11 x 17 hard copies** of the application.

Signature and Authorization

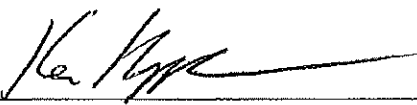
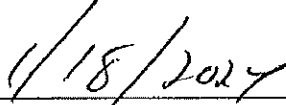
I, as the applicant, do hereby certify that I am familiar with all the information provided in the application and I am aware, that an incomplete application form, as well as a lack of payment of all associated permit fees, are grounds for denial without prejudice by either the Commission or their designated agents.

I am aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

I, as the owner, do hereby authorize the members and designated agents of the Inland Wetlands Commission and professionals hired by the Commission for the purpose of reviewing this application to inspect the property from this date forward until the permitted activity is completed or the application is denied.

I, as the applicant, do understand that an engineer review fee may be required and a lack of payment are grounds for denial without prejudice by either the Commission or their designated agents.

I further understand that the Commission may request further information in connection with this application and that if the proposed activity involves a significant activity, an additional filing fee of \$300 be required for a public hearing.

Signature of ApplicantDate

Signature of Owner (if different)Date

FOR OFFICE USE ONLY

Wetland Agent SignatureDate

Comments/Conditions:

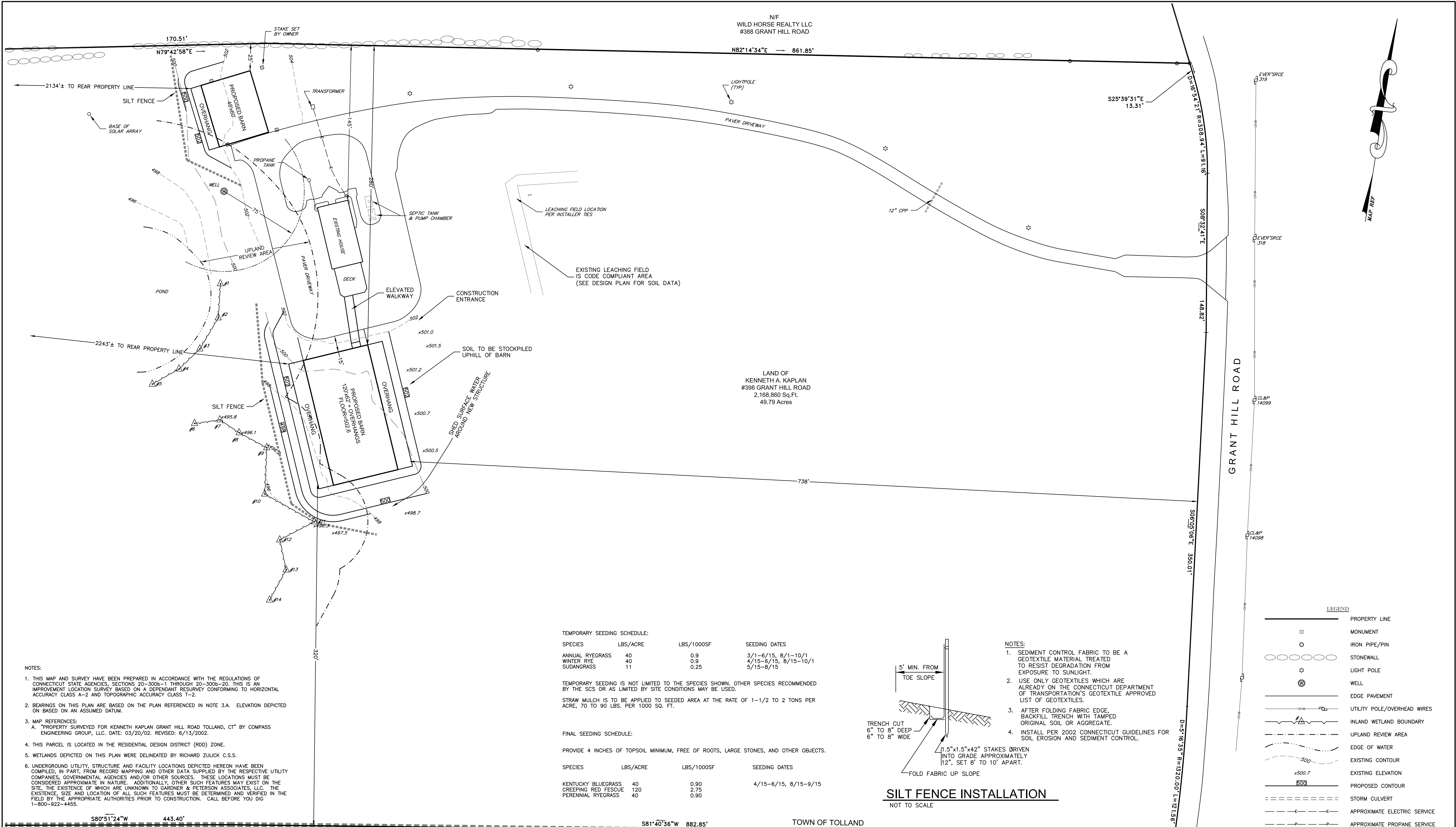
FEE TOTALS	
Amount:	
Paid:	
Agent Issued or Commission Issued:	
Date received by Land Use Department:	
Date received by Commission:	

Applicant Narrative

Regarding the second smaller Morton barn, it is going to be 46'x60' with a 10' lean to, single story and 25' +/- tall

This will be used to house zero turn lawn mowers, gang mowers, ground keeping tools, trailers, trucks, motorcycles and a small dump truck to maintain the farm grounds and trees.

We have located it as far away from wetlands as possible and still be beyond the 25' zoning setback, it is located so as not to interfere with the existing engineered pump septic system and water well, and also off of the USDA Farm soil Field we are trying to preserve at the site.



NOTES:

- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEFENDANT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- BEARINGS ON THIS PLAN ARE BASED ON THE PLAN REFERENCED IN NOTE 3.A. ELEVATION DEPICTED ON BASED ON AN ASSUMED DATUM.
- MAP REFERENCES:
A. "PROPERTY SURVEYED FOR KENNETH KAPLAN GRANT HILL ROAD TOLLAND, CT" BY COMPASS ENGINEERING GROUP, LLC. DATE: 03/20/02. REVISED: 6/13/2002.
- THIS PARCEL IS LOCATED IN THE RESIDENTIAL DESIGN DISTRICT (RDD) ZONE.
- WETLANDS DEPICTED ON THIS PLAN WERE DELINEATED BY RICHARD ZULICK C.S.S.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-8/15

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

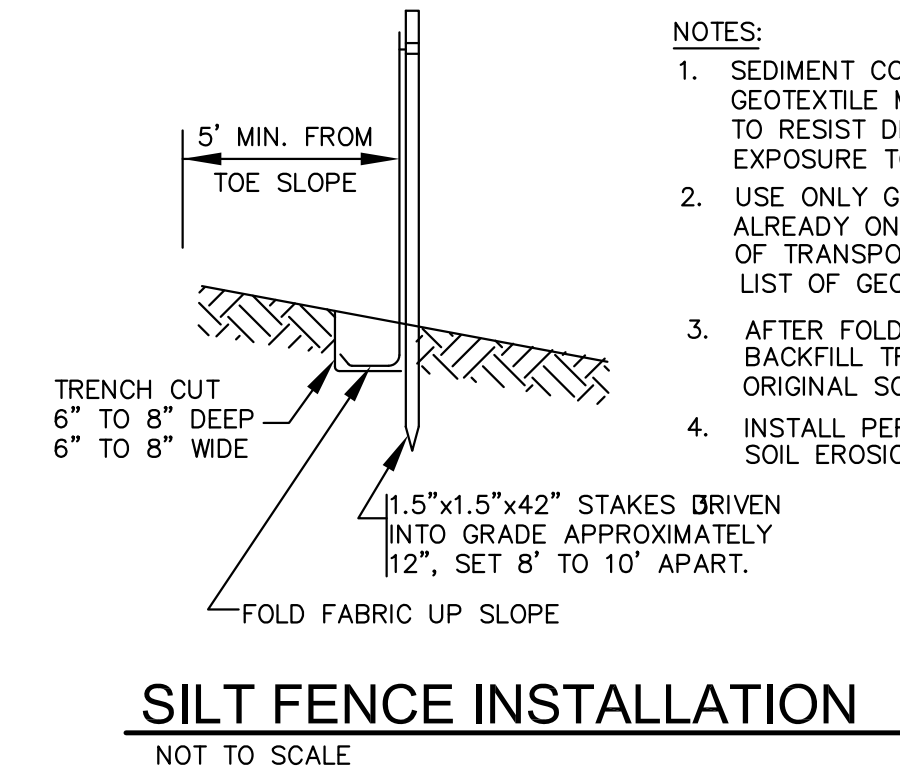
STRAW MULCH IS TO BE APPLIED TO SEEDING AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	

- NOTES:**
- SEDIMENT CONTROL FABRIC TO BE A GEOTEXTILE MATERIAL TREATED TO RESIST DEGRADATION FROM EXPOSURE TO SUNLIGHT.
 - USE ONLY GEOTEXTILES WHICH ARE ALREADY ON THE CONNECTICUT DEPARTMENT OF TRANSPORTATION'S GEOTEXTILE APPROVED LIST OF GEOTEXTILES.
 - AFTER FOLDING FABRIC EDGE, BACKFILL TRENCH WITH TAMPED ORIGINAL SOIL OR AGGREGATE.
 - INSTALL PER 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.



SILT FENCE INSTALLATION
NOT TO SCALE

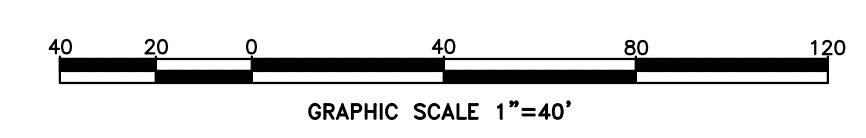
LEGEND

—	PROPERTY LINE
□	MONUMENT
○	IRON PIPE/PIN
○ ○ ○ ○ ○	STONEMALL
☆	LIGHT POLE
⊙	WELL
—	EDGE PAVEMENT
—	UTILITY POLE/OVERHEAD WIRES
—	INLAND WETLAND BOUNDARY
—	UPLAND REVIEW AREA
—	EDGE OF WATER
—	EXISTING CONTOUR
—	EXISTING ELEVATION
—	PROPOSED CONTOUR
—	STORM CULVERT
—	APPROXIMATE ELECTRIC SERVICE
—	APPROXIMATE PROPANE SERVICE



I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

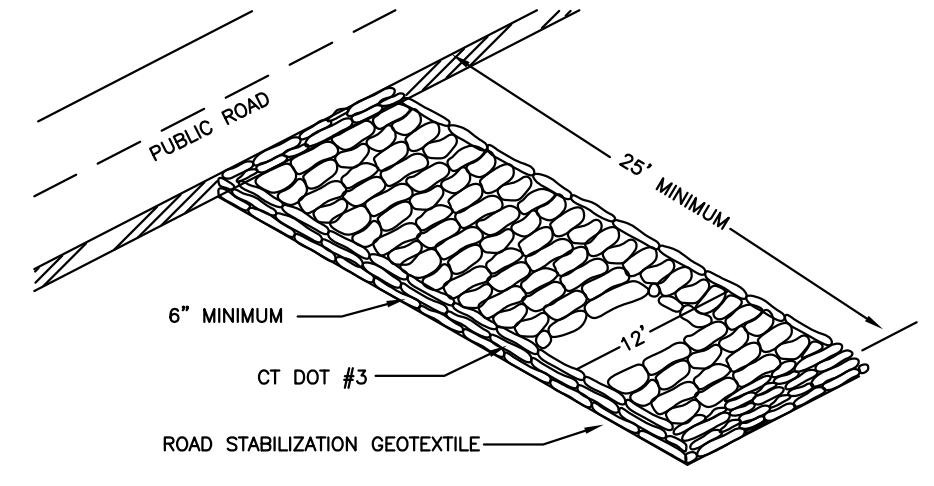
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.



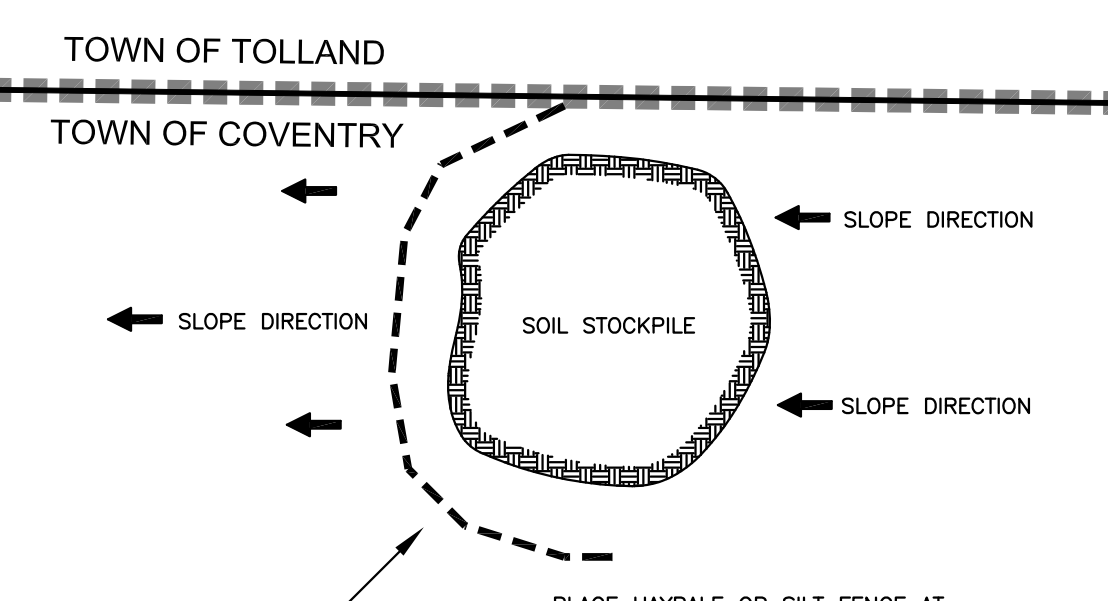
THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

RICHARD ZULICK C.S.S.

N/F
RICHARD MANNARINO &
ELIZABETH FLANNERY
1171 GRANT HILL ROAD



CONSTRUCTION ENTRANCE
NOT TO SCALE



STOCKPILE EROSION PROTECTION DETAIL
NOT TO SCALE



REVISIONS

01/10/2024	
01/25/2024	
02/28/2024	

IMPROVEMENT LOCATION SURVEY

PERMIT PLAN
LAND OF
KENNETH A. KAPLAN
398 GRANT HILL ROAD
TOLLAND, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

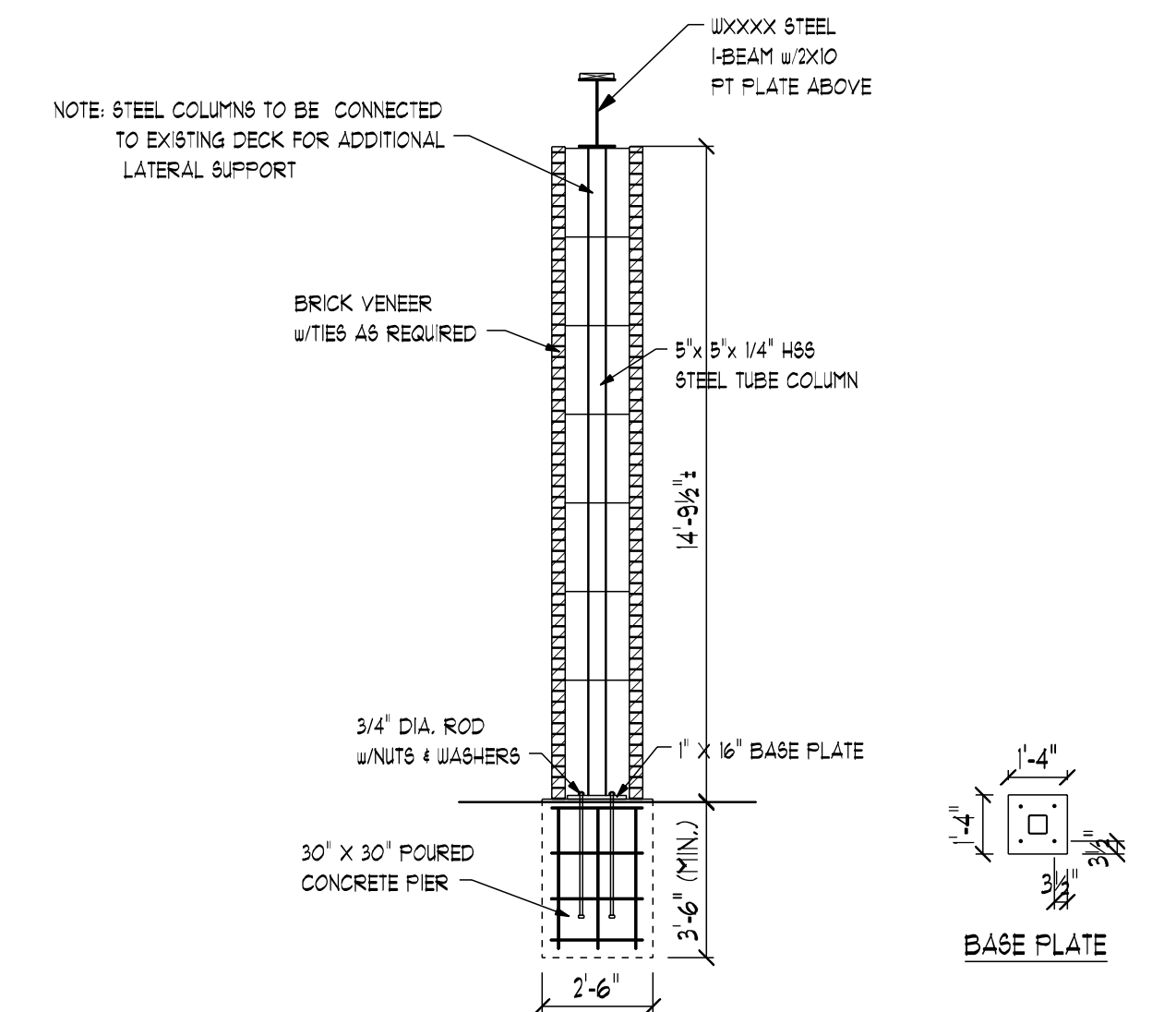
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	11-16-2023	1 OF 1	10489-K

DRAWING SCHEDULE	
ARCHITECTURAL	
FRONT ELEVATION	A-1
LEFT ELEVATION	A-2
RIGHT ELEVATION	A-3
REAR ELEVATION	A-4
FOUNDATION PLAN	A-5
BARN FLOOR PLAN	A-6
STORAGE AREA FLOOR PLAN	A-7
GENERAL NOTES & BUILDING SECTIONS	A-8



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



STEEL COLUMN AND FOOTING DETAILS

@ END OF WALKWAY
1/4" = 1'-0" SCALE

DRAWN FOR:
KEN KAPLAN

BUILDING AREA:
BARN AREA: 1440 SQ. FT.
UNF. STO. AREA: 1366 SQ. FT.

DATE
1/24/24

REVISIONS:

SCALE
As Noted

DRAWING #
A-1

NEW BARN FOR KEN KAPLAN
398 GRANT HILL ROAD
TOLLAND, CT 06084

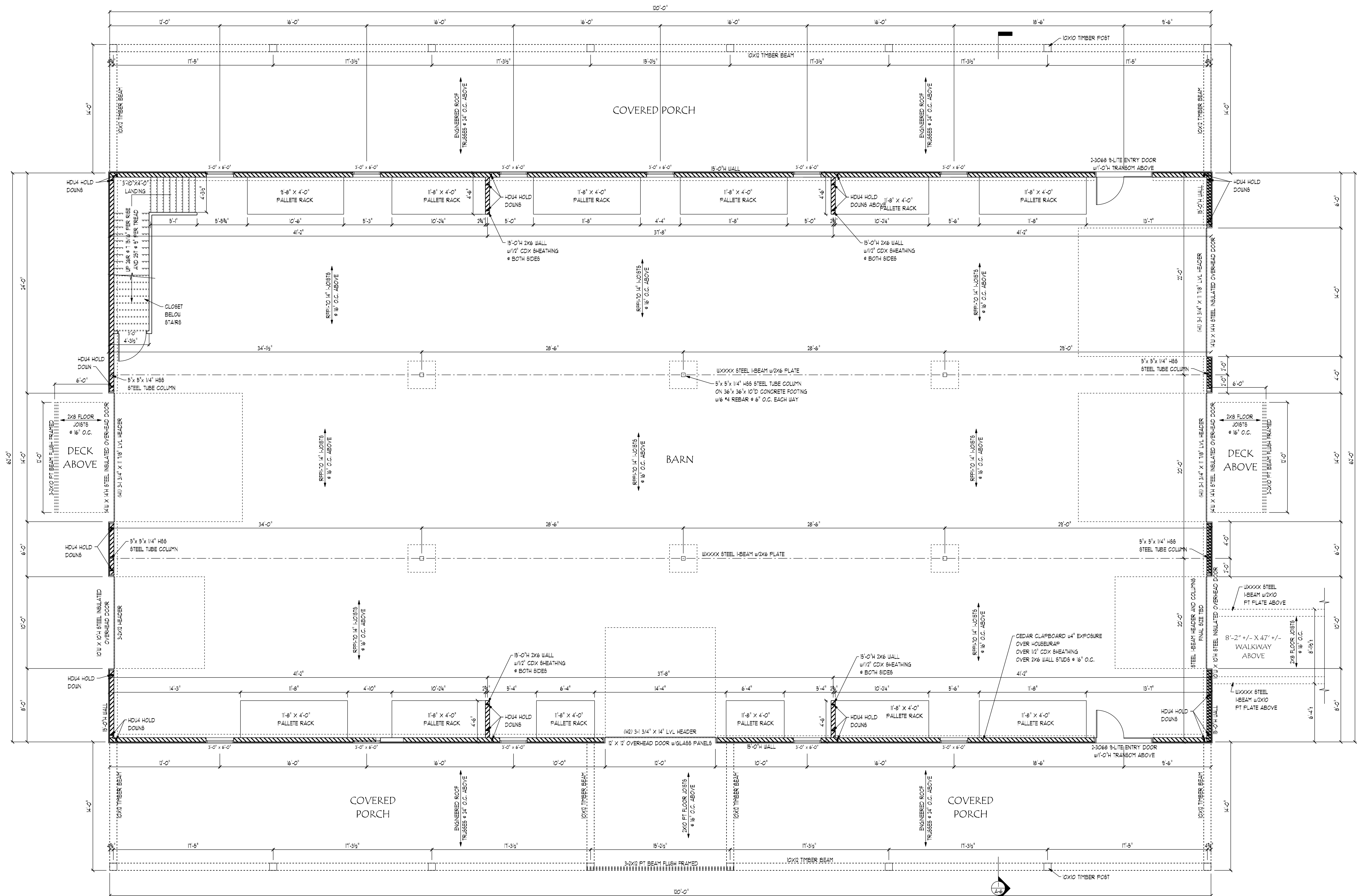
DRAWN FOR:
 KEN KAPLAN

BUILDING AREA:
 BARN AREA: 1440 SQ. FT.
 UNF. STO. AREA: 1366 SQ. FT.

DATE
 1/24/24
 REVISIONS:

SCALE
 3/16" = 1'-0"

DRAWING #
 A-6



FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

XXXXX ENGINEERED BRACED WALL PANEL LOCATION AT 15'-0" WALLS, SEE SCHEDULE ON PAGE A-6
 WXXXX ENGINEERED BRACED WALL PANEL LOCATION AT 15'-0" OVERHEAD DOOR WALL, SEE SCHEDULE ON PAGE A-6

CODE INFORMATION

CODE BA816: CONNECTICUT STATE BUILDING CODE, 2022
INTERNATIONAL RESIDENTIAL CODE, 2021
INTERNATIONAL ENERGY CONSERVATION CODE, 2021
NATIONAL ELECTRICAL CODE, 2020

FOUNDATION NOTES AND SPECIFICATIONS

1. ALL CONCRETE FOR FOUNDATION WALLS AND FOOTINGS SHALL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT THE AGE OF 28 DAYS. ALL CONCRETE FOR BASEMENT SLABS SHALL OBTAIN 3000 PSI AT THE AGE OF 28 DAYS. ALL CONCRETE FOR GARAGE SLABS SHALL OBTAIN 3500 PSI AT THE AGE OF 28 DAYS. ALL FOOTINGS SHALL BE A MINIMUM OF 3'-6" BELOW GRADE. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF A MINIMUM OF 2000 PSF BEARING CAPACITY.
2. ALL ANCHOR BOLTS TO BE 1/2" X 12" @ 6'-0" O.C., MINIMUM OF TWO BOLTS PER WALL.
3. ALL UNSUPPORTED FOUNDATION WALLS 8'-0" H OR LESS SHALL HAVE 1 #4 REBAR WITHIN 12" OF THE TOP OF WALL AND 1 #4 REBAR NEAR MID-HEIGHT OF THE WALL.
4. ALL FOUNDATION DRAINAGE AND DAMP-PROOFING SHALL COMPLY WITH SECTIONS R405 AND R406 OF THE 2021 IRC

FRAMING NOTES AND SPECIFICATIONS

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER UNLESS NOTED OTHERWISE. POST ALL LOADS DOWN TO FOUNDATION OR BEAM BELOW. ALL PRESSURE TREATED WOOD SHALL BE SOUTHERN PINE #2 OR BETTER. ALL FASTENERS IN PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.
2. INSTALL ALL LVL BEAMS IN ACCORDANCE WITH MANUFACTURER'S DETAILS AND INSTRUCTIONS.
3. INSTALL ALL ENGINEERED TRUSSES AND/OR ENGINEERED FLOOR SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S DETAILS, DRAWINGS AND INSTRUCTIONS.
4. PROVIDE SOLID BLOCKING ABOVE ALL BEAMS AND BEARING WALLS.
5. ALL FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH 2021 IRC CODE TABLE R602.3(1) AND TABLE R602.3(2) AND AS NOTED.
6. PROVIDE METAL STRAPS ACROSS EDGE OF TOP PLATES IF OVER 50% NOTCHED.

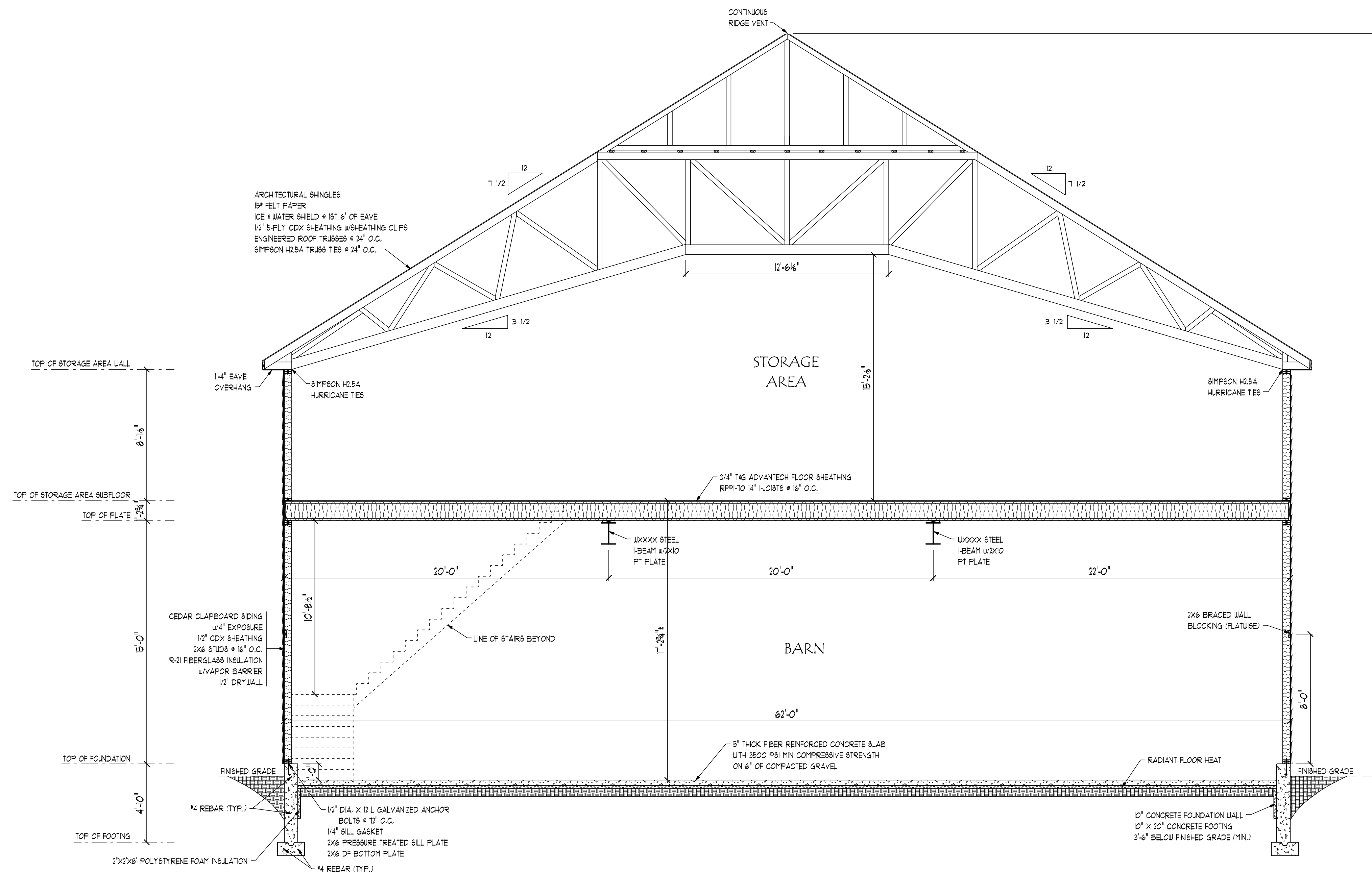
DESIGN LOAD SPECIFICATIONS

DESIGN LOADS	LIVE LOAD	DEAD LOAD
ROOF	35 PSF	10 PSF
SECOND FLOOR	60 PSF	10 PSF

ULTIMATE WIND SPEED, V(U.L.T.): 120 MPH (3-SEC. GUST)

GENERAL NOTES AND REQUIREMENTS

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF PROPOSED STRUCTURE PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL COLUMNS AND/OR BUILT-UP SOLID FRAMING SHALL BE DESIGNED TO CARRY THE LOADS BEING APPLIED TO THEM. THE LOAD PATH SHALL BE CARRIED DOWN THROUGH THE LEVELS BELOW, AND SHALL TERMINATE AT THE FOUNDATION OR OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

DRAWN FOR:
KEN KAPLAN

BUILDING AREA:
BARN AREA: 1440 SQ. FT.
UNF. STO. AREA: 1366 SQ. FT.

DATE
1/24/24

REVISIONS:

SCALE
1/4" = 1'-0"

DRAWING #
A-8



**Town of Tolland
Inland Wetlands Commission
APPLICATION FOR PERMIT**

OFFICE USE ONLY		
Agent Decision	\$	
Commission Approval	\$	
Other	\$	

An incomplete application may be denied.

1. Applicant & Owner Information

674 Tolland Stage Road

 Site Address of Proposed Activity

Town of Tolland _____ 21 Tolland Green _____
 Applicant Name _____ Mailing Address

860-871-3600 _____ mmassa@tollandct.gov _____
 Phone Number _____ Email Address

860-871-3600 _____ 21 Tolland Green _____
 Property Owner(s) Name (if not the applicant) _____ Mailing Address

_____ mmassa@tollandct.gov _____
 Phone _____ Email Address

2. Proposed Activity Information * These questions are mandatory

Check all activities occurring within 50 feet of wetlands or 100-feet of watercourses.

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> Remove soil | <input checked="" type="checkbox"/> Deposit fill | <input type="checkbox"/> Divert surface water |
| <input checked="" type="checkbox"/> Construction | <input checked="" type="checkbox"/> Grade | <input type="checkbox"/> Construct a road or driveway |
| <input type="checkbox"/> Remove Vegetation | <input type="checkbox"/> Restore Vegetation | <input type="checkbox"/> Place a prefabricated structure |
| <input type="checkbox"/> Alter a watercourse | <input type="checkbox"/> Enhance a watercourse | <input type="checkbox"/> Create a watercourse |
| <input type="checkbox"/> Remedy pollution | <input type="checkbox"/> Dredging or construct a dam | <input type="checkbox"/> Other |

* Describe the proposed activity. (use additional paper if necessary)

Construction of a new, single, asphalt pickleball court, with a fenced area 30-ft x 60-ft. The area of disturbed soil, including grading and topsoil to be approximately 38-ft by 68-ft.

* What is the proposed use? (use additional paper if necessary)

The proposed use is for a single, asphalt pickleball court, for use by Tolland Senior Center members.

3. Wetland and Upland Review Area Information * These questions are mandatory

Has the property been delineated by a Certified Soil Scientist? No Yes

If YES, what year did the delineation occur? 1997

What is **wetland delineation**?

Delineation is an act of locating the boundary or border of a wetland or waterbody. Delineation also includes describing the functions and values the water system provides the geographical location. In the state of Connecticut only a certified Soil Scientist is recognized as being able to perform a wetland or watercourse delineation.

A **watercourse** is defined as:

Rivers, streams, brooks, waterways, lakes, ponds, marshes, swamps, bogs, and all other bodies of water, natural or artificial, vernal or intermittent, public or private.

An **upland review area** is defined as:

An area extending a minimum of 50-feet from the edge of wetlands and/or 100-feet from any watercourse (refer to regulations when doubling of an upland review area is required).

**Wetlands* (indicate amount of wetlands and disturbed wetlands on property)

Total area by Town Map = .33 acres Total area by Soil Scientist acres
Disturbed area by Town Map = 0 acres Disturbed area by Soil Scientist acres

**Watercourses* (indicate amount of disturbance for each swamp, bog, marsh or ponds)

Total area by Town Map = .33 acres Total area by Soil Scientist acres
Disturbed area by Town Map = 0 acres Disturbed area by Soil Scientist acres

**Upland Review Area* (100 ft. measured from nearest point of wetlands or watercourse boundaries)

Total area by Town Map = .~1 acres Total area by Soil Scientist acres
Disturbed area by Town Map = .06 acres Disturbed area by Soil Scientist acres

4. Alternatives

* Please explain to the Commission the reason you chose this location for your proposed activity or project. What alternatives have been considered to avoid altering wetlands or watercourses? (use additional paper if necessary)

* **This question is mandatory for projects deemed to be a significant activity by the commission.**

The decision to invest in a pickleball court stems from the growing popularity of this sport, particularly among individuals aged 55 and above. This area of the senior center

property was the former site of a community garden and encompasses a flat area of appropriate size for a pickleball court. From the proposed construction area,

the land slopes sharply down to the wetlands below. There should be little impact to the wetlands as the slope provides physical separation between the pickleball area and the wetlands.

5. Abutters

Providing abutters only applies if the application requires a public hearing. Tolland's Planning & Development Department will supply the applicant with the names and addresses of adjacent property owners. **There is a public hearing fee of \$300.**

6. Site Plan Maps ***Application Requirement**

7. Additional Information

Supply any other information that would help in the understanding of the proposed activity.

8. A Complete Application Consists Of

1. This permit application fully filled out.
2. Signatures & Seals of licensed or certified professionals.
3. Filing fee
4. **One (1) electronic copy** of the application.
5. **Three (3) full size and six (6) 11 x 17 hard copies** of the application.

Signature and Authorization

I, as the applicant, do hereby certify that I am familiar with all the information provided in the application and I am aware, that an incomplete application form, as well as a lack of payment of all associated permit fees, are grounds for denial without prejudice by either the Commission or their designated agents.

I am aware of the penalties for obtaining a permit through deception or through inaccurate or misleading information.

I, as the owner, do hereby authorize the members and designated agents of the Inland Wetlands Commission and professionals hired by the Commission for the purpose of reviewing this application to inspect the property from this date forward until the permitted activity is completed or the application is denied.

I, as the applicant, do understand that an engineer review fee may be required and a lack of payment are grounds for denial without prejudice by either the Commission or their designated agents.

I further understand that the Commission may request further information in connection with this application and that if the proposed activity involves a significant activity, an additional filing fee of \$300 be required for a public hearing.



2-7-2024

Signature of Applicant

Date

Signature of Owner (if different)

Date

FOR OFFICE USE ONLY

Wetland Agent Signature

Date

Comments/Conditions:

FEE TOTALS	
Amount:	
Paid:	
Agent Issued or Commission Issued:	
Date received by Land Use Department:	
Date received by Commission:	



TOWN OF TOLLAND

Planning & Development Department

21 Tolland Green, Tolland CT 06084

Tel.: (860) 871-3601

MEMORANDUM

TO: Tolland Inland Wetland & Watercourses Commission
 FROM: Michael D'Amato, AICP, CZEO, Wetland Agent *Michael D'Amato*
 DATE: March 6, 2024
 SUBJECT: **IWC 24-2: 674 Tolland Stand Road (Tolland Senior Center)**

Application Timeframes			
Date of Submission		February 7, 2024	
Official Date of Receipt		February 15, 2024	
Deadline for Decision		April 20, 2024	
Extension Eligible?	Yes*	Duration	65 Days
* §CGS 8-7D allows the applicant to consent to one or more extensions of time provided such extension(s) does not exceed 65 total days.			

Background

Per the materials submitted, this application seeks approval to conduct a regulated activity within the Upland Review Area per Section 6 of the Tolland Inland Wetlands and Watercourses Regulations.

674 Tolland Stage Road is the location of the Town's Senior Center. The existing building was constructed in 1998 following the Town's acquisition of the property. The proposed project includes minor grading and excavation, as well as the construction of a 30ft x 60ft asphalt pickleball court with associated fencing. All project activities will be conducted within the upland review area with a total area of disturbance of approximately 2,600SF.

Staff Comments

Erosion & Sedimentation Controls:

1. Additional E&S control info the form of a sediment filter should be added to the catch basin located to the North of the project area within the site access driveway. *(See proposed condition #3)*
2. While not expected, any soil stockpiling should occur to the North of the project area and outside of the upland review area. *(See proposed condition #1)*
3. Given the steepness of the existing slope between the project area and wetland, the installation of straw wattles at the top of the slope in addition to silt fence should be considered.

General Comments:

1. During construction, project materials and equipment should be stored within parking spaces #58-#68 as depicted on the site plan. *(See proposed condition #2)*

Motion for Consideration

MOTION TO APPROVE:

Application IWC 24-2: 674 Tolland Stage Road. Application for the construction of a pickleball court within the upland review. Approximately 2,600SF of disturbance. Owner/Applicant Town of Tolland.

This approval is granted subject to conformance with the application materials and submitted plans (as may be modified by the Commission and this approval) and the following conditions and/or modifications:

Findings:

1. The Commission finds that the application is complete, and that sufficient information has been provided by the applicant to allow the commission to reach a decision.

Conditions:

1. There shall be no soil stockpiling within the upland review area.
2. During construction, materials and equipment should be stored within parking spaces #58-#68 as depicted on the site plan.
3. A sediment filter shall be installed on the catch basin to the North of the project area within the site access drive prior to the commencement of construction.
4. All work and all regulated activities conducted pursuant to this authorization shall be consistent with the terms and conditions of this permit. Any structures, excavation, fill, obstructions, encroachments, or regulated activities not specifically identified and authorized herein shall constitute a violation of this permit and may result in its modification, suspension, or revocation. Upon initiation of the activities authorized herein, the permittee thereby accepts and agrees to comply with the terms and conditions of this permit.
5. This permit is not transferable without the written consent of the Commission or its Agent.
6. In evaluation of this application, the Commission has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete, and/or inaccurate, this permit may be modified, suspended, or revoked.
7. The permittee shall notify the Town's wetland agent not less than 72 hours prior to the commencement of the activity.
8. Additional erosion & sedimentation controls may be required by Town staff as field conditions may necessitate.
9. This approval shall be valid for a period of 5 years unless subsequently extended by the Commission or provided for by law.



TOWN of TOLLAND/ 21 Tolland Green, Tolland, Connecticut 06084

TO: Tolland Inland Wetlands Commission
FROM: Megan Massa, Projects and Grants Manager
DATE: March 6, 2024
SUBJECT: Description of Work for 674 Tolland Stage Road Wetlands Application

Based upon the Scope of Work prepared by the Town's contractor, the installation of the pickleball court at the senior center will consist of the following activities within the upland review area:

- Installation of a 3-ft high silt fencing with stakes 10-ft on center
- Site preparation and grading, to establish a pitch within the project area to shed runoff towards the parking area and away from wetlands.
- Installation and compaction of gravel subbase materials 9" deep, topped with bituminous asphalt 64-ft x 34-ft
- Application of 4 coats of epoxy modified water-based acrylic coating (court painting and lines)
- Installation of 30-ft x 60-ft fence including gate access facing the existing paved driveway, with a machine-augured fence post holes in soil and 2-1/2" concrete fill. Posts 10-ft on center with 3" corner posts
- Location of 12" machine-augured post holes in soil for net and post, with 3" diameter concrete fill
- 8-ft belt of screened topsoil around perimeter of court, 4" deep, 38-ft x 68-ft
- Application of Bluegrass seed mixture

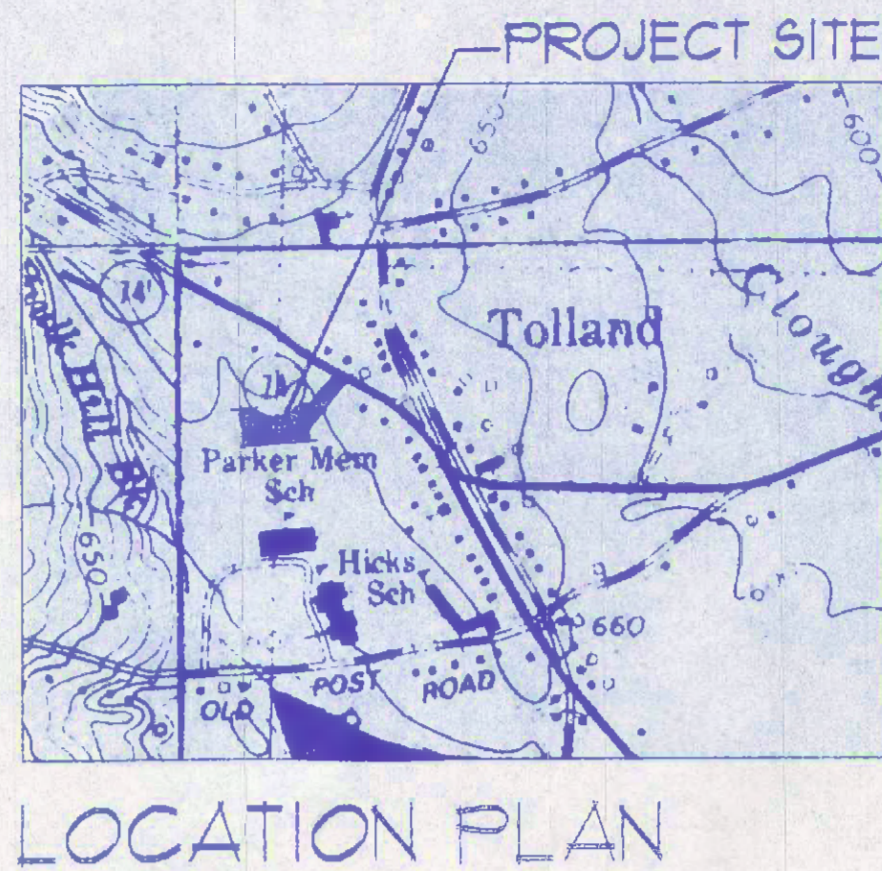
Thank you,

Megan Massa
Projects and Grants Manager





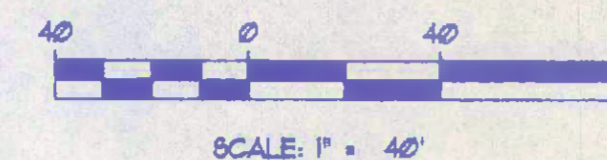
DATE	CHECKED BY	DATE
MLF/DJR 1/20/91	RMR	3/10/91
DATE	CHECKED BY	DATE
DJR		
DATE	CHECKED BY	DATE
DATE	CHECKED BY	DATE



LANDSCAPING REQUIREMENTS

1. ALL DISTURBED AREAS WITHIN THE SITE NOT OTHERWISE SCHEDULED TO BE PAVED SHALL BE TOPSOILED AND SEEDED.
2. PREPARE ALL SEEDED BY SCARIFYING AND SMOOTHING OUT AREAS OF THE SITE SCHEDULED TO BE SEEDED. SPREAD ALL AVAILABLE TOPSOIL.
3. LIME AND FERTILIZE TOPSOIL. SEED AT A RATE INDICATED IN THE SPECIFICATIONS. ROLL ALL SEEDED AREAS, AND WATER SUFFICIENTLY TO SATURATE THE SEEDED. MULCH WITH SALT HAY.
4. AT CONTRACTOR'S OPTION, USE WET APPLICATION METHOD FOR SEED, FERTILIZER AND MULCH. SUBMIT PROPOSED SYSTEM FOR OWNER APPROVAL PRIOR TO INSTALLATION.
5. LANDSCAPING AND PLANTING OTHER THAN SEEDED WILL BE PERFORMED BY THE OWNER.
6. LANDSCAPING ZONING REQUIREMENTS (SCREENING) WILL BE PERFORMED BY THE OWNER.

BID DOCUMENTS
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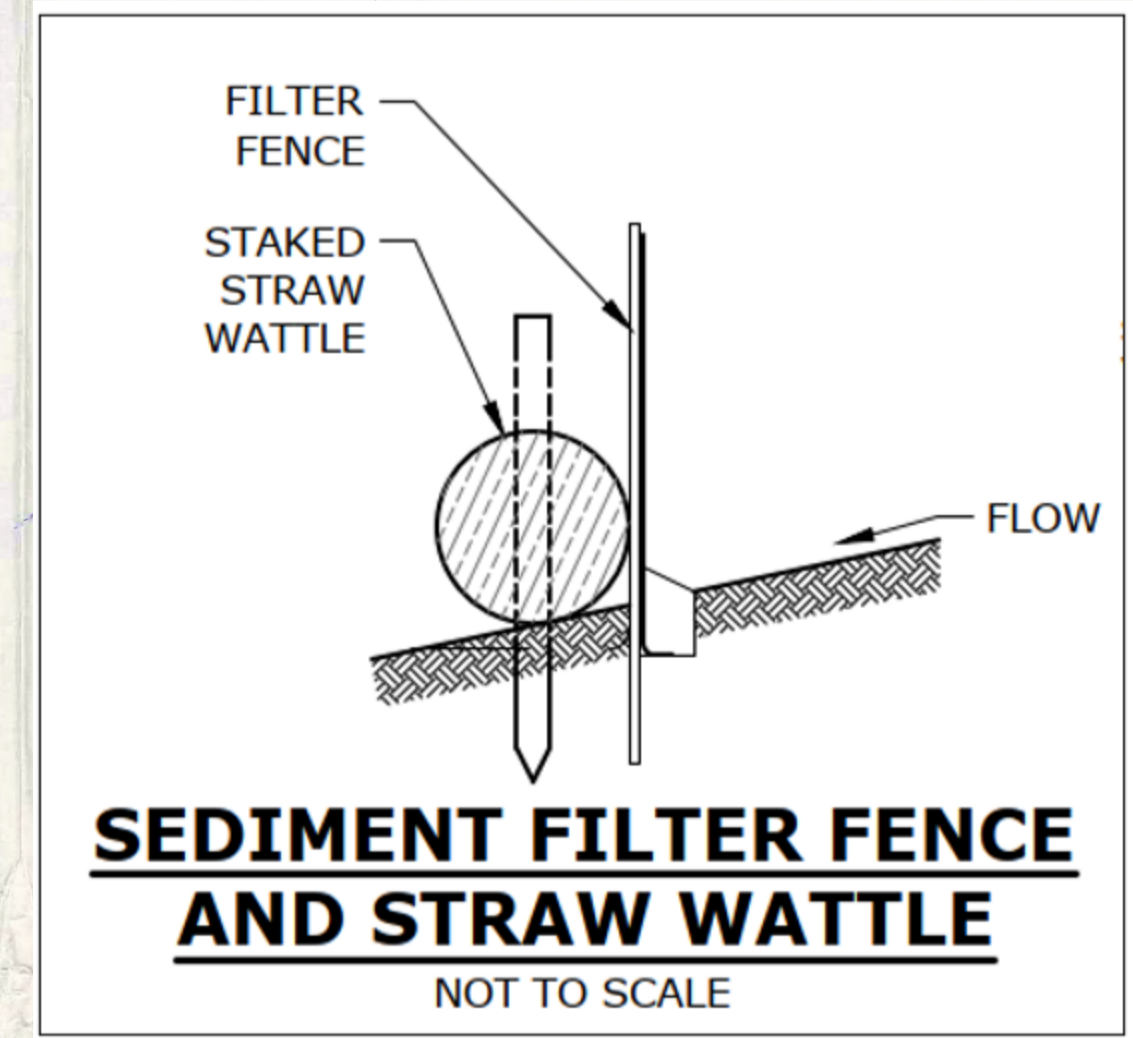
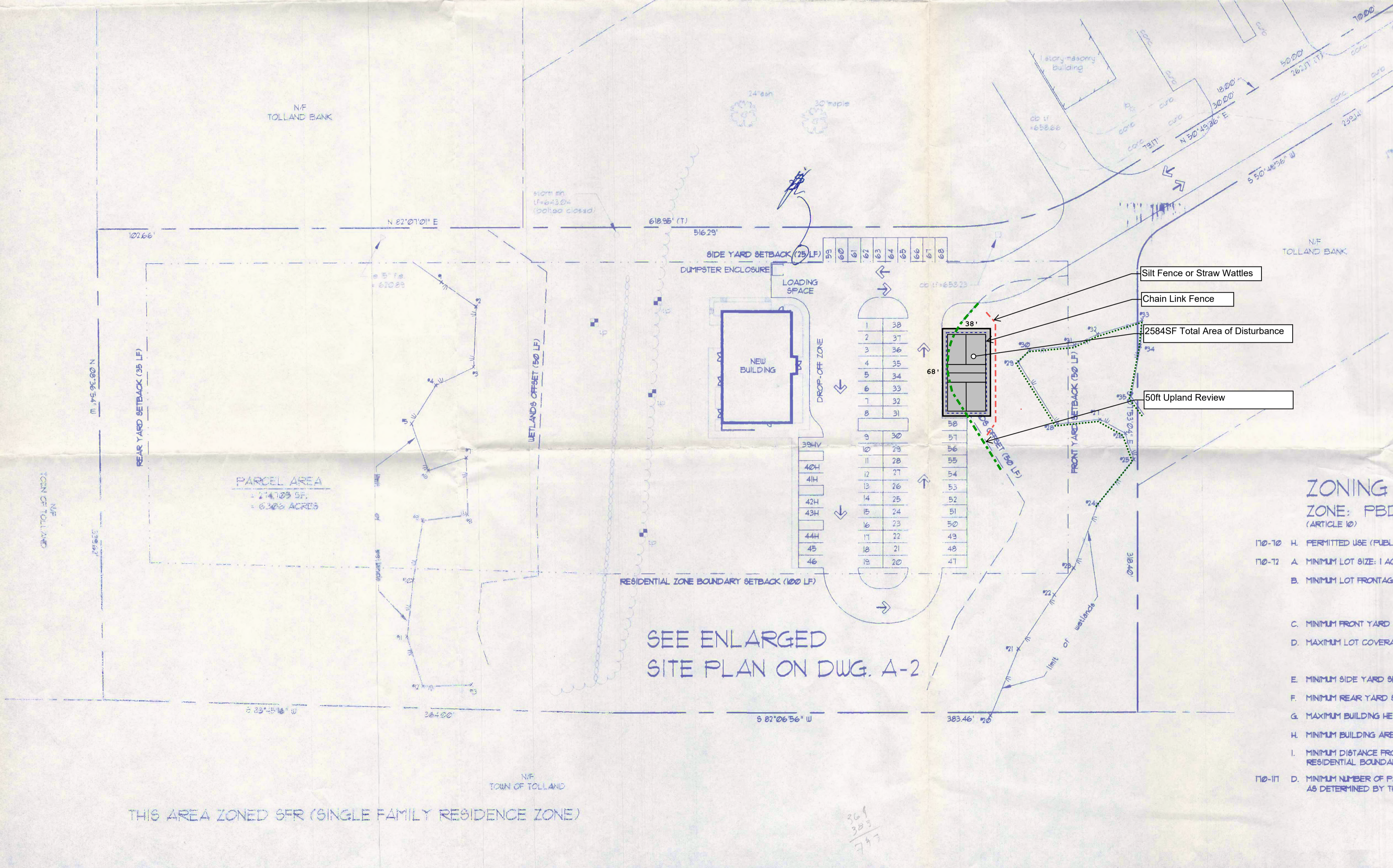
"TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"
ROBERT R. LEAVER
L.S. 15465



SITE PLAN
TOLLAND SENIOR CENTER
ROUTE # 14 (TOLLAND STAGE ROAD)
TOLLAND, CONNECTICUT

NO.	DATE	DESCRIPTION	REVISIONS

DATE: MAR 11, 1991
SCALE: 1" = 40'
JOB NO.: 516302
CADD NO.: L1630201
FILE NO.: A-10233
SHEET NO.: 1-1



ZONING REQUIREMENTS

ZONE: PBD (PLANNED BUSINESS DISTRICT)
(ARTICLE 10)

REQUIREMENT	PROVIDED
10-10 H. PERMITTED USE (PUBLIC OR SEMIPUBLIC BUILDING)	ACTUAL LOT SIZE: 6.30 ACRES
10-12 A. MINIMUM LOT SIZE: 1 ACRE	ACTUAL LOT FRONTAGE: 361.40 FT. NOTE 11* APPLIES TO THIS LOT, AS IT SHARES AN ENTRANCE WITH THE ADJACENT LOT.
B. MINIMUM LOT FRONTAGE: 220 FT.	PROVIDED FRONT YARD SETBACK: 230 FT ±
C. MINIMUM FRONT YARD SETBACK: 50 FT.	PROVIDED LOT COVERAGE: 8% BUILDING: 4,050 SF OTHER IMPERVIOUS SURFACES: 34,000 SF ±
D. MAXIMUM LOT COVERAGE (IMPERVIOUS): 50%	PROVIDED SIDE YARD SETBACK(S): 60 FT ±
E. MINIMUM SIDE YARD SETBACK: 25 FT.	PROVIDED REAR YARD SETBACK: 460 FT ±
F. MINIMUM REAR YARD SETBACK: 35 FT.	PROPOSED BUILDING HEIGHT: 16 FT ±
G. MAXIMUM BUILDING HEIGHT: 35 FT.	PROVIDED BUILDING AREA: 4,050 SF
H. MINIMUM BUILDING AREA: 10,000 SF.	PROVIDED DISTANCE TO RESIDENTIAL BOUNDARY ZONE: 104 FT
I. MINIMUM DISTANCE FROM RESIDENTIAL BOUNDARY ZONE: 100 FT.	PROVIDED PARKING SPACES: 68 NUMBER OF 9 FT. BY 18 FT. SPACES: 62 NUMBER OF ACCESSIBLE SPACES: 6
10-11 D. MINIMUM NUMBER OF PARKING SPACES REQUIRED: AS DETERMINED BY THE COMMISSION	PROVIDED LOADING SPACES: 1

SEE ENLARGED SITE PLAN ON DWG. A-2

IWC	Street #	Street	Applicant	Date Submitted	Application For	Date of Decision	Permit_Expiration
2018.18	50	Charlotte Way	Town of Tolland	12/12/2018	Repair a severely washed out area exiting a spreader pond by installing a catch basin, drainage manhole and approximately 75 feet of ADS piping.	1/17/2019	1/17/2024
2019.01		Old Cathole Road	Town of Tolland	1/8/2019	Town funded portion of the reconstruction of Old Cathole Road.	2/21/2019	2/21/2024
2019.02	40 & 48	Merrow Road	Taylor, Michael	1/14/2019	Request for tree cutting and removal of invasives, brush, dead trees and debris within regulated area and upland review.	2/21/2019	2/21/2024
2019.05		Merrow Road	Wang, George	2/20/2019	Request to grade in State ROW in support of roadway widening at the intersection of Merrow Road and Cyber Drive as required by CTDOT approvals.	5/16/2019	5/16/2024
2019.07	131	Merrow Road	Rogers, Scot & Valerie	4/9/2019	New Car Wash - Elements Car Wash	8/15/2019	8/15/2024
2019.11	578	Buff Cap Road	Nutts Construction LLC	6/18/2019	Construction of single family house on existing building lot	7/18/2019	7/18/2024
2019.12	290	Gehring Road	Hollister, Scott	6/18/2019	Subdivision to create one new lot	7/18/2019	7/18/2024
2019.13	317	Goose Lane	Podmostka, Alan	7/9/2019	Construction of a driveway over previously filled area and extend the length of the existing culvert.	8/15/2019	8/15/2024
2019.15	48	Kozley Road	Krajewski, Robert	8/7/2019	Resubdivision to create 2 additional building lots	9/19/2019	9/19/2024
2019.18	161	Eaton Road	Luginbuhl, Ross & Robyn	11/14/2019	Resubdivision to create 1 new building lot	12/19/2019	12/19/2024
2019.19	440	Crystal Lake Road	Richardson, Karen & Goulet, Lisa	11/19/2019	Request for an addition in the upland review area.	12/19/2019	12/19/2024
2019.20	247	Rhodes Road	Town of Tolland	11/20/2019	Request for a wetlands permit.	12/19/2019	12/19/2024

EROSION AND SEDIMENTATION CONTROLS INSPECTION AND MAINTENANCE REPORT FORM

To be completed once quarterly or more often as necessary

Site Name: <u>Fieldstone Ridge, Tolland, CT</u>	Date: <u>February 27, 2024</u>
Inspector: <u>George T. Logan, MS, CSE, PWS</u>	Inspector's Title: <u>Erosion Control Monitor</u>
Days since last rainfall: <u>(2) 2/20 to 2/27/24</u> (Date)	Amount of last rainfall*: <u>0.36 inches</u>

CURRENT SITE STATUS:

Site Area	Current Activities	Current Condition**
Overall Site	Ongoing grading and shaping of site in preparation for foundations, roadway	Good to Excellent
Northeastern Detention Basin	Excellent condition; appropriate controls; no release of sediment to wetlands observed	Very good
Southern Detention Basin	Not yet in place	
Soil Stockpiles	Several active stockpiles (process stone, topsoil, and sandy subsoil)	Very good
Roadways	None completely formed yet; in process; just haul roadways	Very good
Construction Site Perimeter	Perimeter barriers mostly maintained; a few minor breaches were noted	Very good to Excellent
Temporary Sediment Traps	One in west-central section operational	Very Good

* as recorded at the nearest NRCC/NOAA weather station

** Denotes Erosion/Sedimentation Stabilization Potential (i.e., Poor, Fair, Good, Excellent)

Erosion and Sedimentation Controls

Inspection and Maintenance Report Form – DATE:2/27/2024

Fieldstone Ridge, Tolland, CT

General Control Measures: (A "No" to any of the following questions will require corrective action within 24 to 48 hours of inspection)

- | | | | |
|---|-----------------------------|--|--|
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> NA | Siltation/Perimeter barriers in good condition? |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> NA | Erosion control measures at detention basin outfalls operating properly? |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> NA | Minimal sediment tracked onto roads? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | <input checked="" type="checkbox"/> NA | Drainage diverted away from disturbed areas? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | <input checked="" type="checkbox"/> NA | Temporary stabilization in place where appropriate/required? |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> NA | No substantial or measurable sediment releases observed since last inspection? |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> NA | Catch basins/detention facilities functioning properly? |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> NA | Sedimentation facilities functioning properly? |

Other Specific Observations:

- In general, the site is well maintained, and controls are in place per plan and good shape.
- In the southernmost section of site to the east of an existing sandy stockpile, the perimeter silt fence should be extended from its northern limit in a northwesterly direction for 30 - 40 feet (i.e., dogleg) this will protect the wetland in case of a surcharge that allows for a bypass in a NE direction past, past the northerly end of the silt fence barrier.
- Several (4) small breeches of perimeter controls observed during the 9/26/23 inspection had been repaired; no release of sediment that would compromise/impact wetlands had been noted or were observed during the current inspection.

Corrective Actions Required:

- Silt fence was down or compromised at two locations, one on the eastern perimeter and one on the western perimeter. These were pointed out to a construction supervisor (Matt), who would correct within the next 24 to 48 hours and/or before a rainfall event. Both these were minor in extent.

NOTE: Photographs of site conditions observed during the inspection can be submitted upon request.

**Tolland Inland Wetlands Commission
Regular Meeting**

Council Chambers, 6th level Tolland Green, CT 06084

**Thursday, February 15, 2024
Remote ONLY Meeting**

Members Present: Raymond Culver, Chairman
 Todd Penney, Vice Chair
 Bob Ross, Regular
 Gary Hoehne, Regular
 Georgienna Driver, Regular

Members Absent: None

Others present: Michael D’Amato, interim Wetlands Agent

1. Call to Order

Meeting recording started. Meeting called to order at 7:05 pm.

2. Seating of Alternate(s) –

Penney/Ross: motion to seat Driver as a regular member for this meeting.

Culver – Y, Penney – Y, Ross – Y, Hoehne – abstain (member was on mute at time of vote and vote could not be recorded)

Three yes votes, one abstain due to technical difficulties.

3. Additions/Changes/Deletions to Agenda – none

4. Public Participation – issues of concern not on the agenda (2-minute limit) – none

5. New Business

5.1 **24-1 – 398 Grant Hill Road** – Requests approval for construction of a 62’ x 120’ Barn within the Upland Review Area. Approximately 0.2 acres of disturbance. Applicant: Kenneth Kaplan. *For receipt only.*

Penney said he would suggest moving the barn out of the upland review area. D’Amato said there will be a raised walkway to attach the barn to the house. Penney suggested Kaplan come to the next meeting with a very good reason why the barn needs to be in the proposed location. D’Amato said this is a revised plan and D’Amato has been involved prior to presentation

Driver asked if this is for a permit or a jurisdictional ruling. D’Amato said it is an application for permit. D’Amato said a special variance will be required from the Planning and Zoning Commission due to size of the barn. D’Amato said he was not 100% sure of the intent and purpose of use for the barn and would like to defer to the applicant for his explanation for intent and purpose.

5.2 **24-2 674 Tolland Stage Road** – Requests to construct a pickleball court within the Upland Review Area. Approximately 2584 sqft of disturbance. Applicant: Town of Tolland. *For receipt only.*

D'Amato reviewed the packet content and stated the Town is the permit applicant. He said it went for an 824 referral already. D'Amato said the area proposed had been a garden and directly adjacent to the parking lot on the senior center property. D'Amato said there is no proposed grading, or importing or exporting of materials. Penney said he was concerns that there will be grading and is concerned about the specific location chosen. Penney said the proposed court would require excavation and base and the movement of materials during construction. Penney requests the applicant explain why the specific location was chosen. Penney recommended moving the court to an area where there are some parking spaces (8) and the number of spaces would probably need to be relocated. He said the court could be placed adjacent to the spaces and have less wetlands disturbance.

D'Amato said the topography from GIS is not exactly site conditions and that the aerials provided show a different topography indicating the proposed court area is much flatter than it appears on the GIS. Penney asked who is sponsoring the project. He said Megan and the Senior Center staff are. D'Amato said he has been working with the Senior Center staff to develop the plan and court location. Penney said the Senior Center staff should be the applicant. Penney suggested that the applicant could consider some remediation plantings to protect the nearby wetlands.

Culver said he reviewed Google Earth and it seems the map/property line boundaries are different than actual site conditions. Driver asked if the court could be next to the building. Driver said the map seems to be out of date and it seems the bocce court location may not be correct on the map.

6. Old Business – none

7. Wetlands Agent Report

7.1 D'Amato said Gorog has continued to do work on his property to restore the swale and remove/relocate additional the wood chips. D'Amato said there is a small dump on the property but it seems Gorog is moving the chips off site. He said the progress has been intermittent. Gorog has been in communication with Town Staff regarding when he works on the property.

8. Other Business

8.1 Culver asked if D'Amato has been by the Santini property. D'Amato said he has been in contact with Gartner and Peterson regarding sediment basins and whether they have been certified.

8.2 D'Amato said he has also been in contact with the Girl Scouts. He said there is a 10-foot cut in the area of the driveway that needs to be made, however, they hit ledge at 1 foot; so, the engineers/construction team are working on a plan to deal with the ledge. He said the erosion and sedimentation controls inspection has been completed and controls looked good. D'Amato said there was a soft area on the road was fixed the day the condition was reported. D'Amato said they did not find the ledge when they dug their test holes. Penney asked if there was going to be ledge in area of the basin. D'Amato said no, that the temporary basin is in the place of the final basin and there was not ledge there. D'Amato said the applicant will come back to him once they understand the scope of the ledge problem.

9. Correspondence

9.1 CAWS 2024 Annual Meeting and Environmental Conference – March 7, 2024

Driver asked if it would be virtual. Culver said there is a physical location this year. D'Amato said the Town will provide the fee if a commissioner would like to attend. Hoehne expressed interest.

10. Approval of Minutes – December 21, 2023 Regular Meeting

Driver said she reviewed the minutes and felt prepared to be part of the vote.

Penney/Driver: motion to approve Inlands Wetlands Commission meeting minutes dated December 21, 2024 as presented.

Culver – Y, Driver - Y, Ross – Y, Hoehne – Y, Penney - Y

Unanimously approved.

11. Adjournment

Driver/Penney: motion to adjourn.

Culver – Y, Driver - Y, Ross – Y, Hoehne – Y, Penney - Y

Unanimously approved.

Adjourn at 07:35 pm

Respectfully submitted,



June Kausch
Clerk, Inland Wetlands Commission