

**Agenda**  
**Tolland Planning & Zoning Commission**  
21 Tolland Green, Tolland, Connecticut  
Monday, February 26, 2024 at 7:00 p.m., 6<sup>th</sup> floor – Council Chambers

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1. Call to Order
2. Pledge of Allegiance
3. Seating of Alternate(s)
4. Additions to Agenda
5. **Public Comment** - Any person wishing to ask a question, make a comment or put forward a suggestion for any item or matter other than a public hearing item.
6. **Public Hearing(s)**
  - 6.1. **PZC #24-1 – 398 Grant Hill Road** – Special Permit per Section 3-11.C.2 Height Restrictions to build a 45’-8.1/2” barn for agricultural purposes. Zone: Residential Design District.  
Applicant: Kenneth Kaplan.
  - 6.2. **PZC #24-2- Zoning Regulation Amendment-** Request to amend Section 16-13 “Farm Brewery, Farm Cidery, Farm Distillery and Farm Winery” to allow the sale of alcoholic beverages manufactured within 30 miles of the premises to be sold on site. Applicant: Larry Lemek and RJL Enterprises.
7. **Old Business**
  - 7.1. Possible action on PZC #24-1.
  - 7.2. Possible action on PZC #24-2.
8. **New Business**
9. **Reports**
  - 9.1. Town Council Liaison
  - 9.2. Economic Development Liaison
  - 9.3. Capitol Region Council of Governments
  - 9.4. Zoning Enforcement Report
  - 9.5. Planning Update
10. **Other Business**
11. **Correspondence**
12. **Public Participation**
13. **Approval of Minutes** – February 12, 2024 Regular Meeting
14. **Adjournment**

To join the Zoom meeting, either click:  
<https://us06web.zoom.us/j/4325402030?pwd=NG43ZHcyOXBQOGJldzZVTmQxNmhZZz09>  
**One tap mobile:**  
+13017158592,,4325402030#,,,,\*444555#  
**Or call:** 1-646-876-9923 and input:  
Meeting ID: 432 540 2030  
Passcode: 444555



TOWN of TOLLAND/ 21 Tolland Green, Tolland, Connecticut 06084

## MEMO

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**TO:** Planning and Zoning Commission

**FROM:** David Corcoran, AICP, Director of Planning & Development

**DATE:** February 21, 2024

**RE:** PZC #24-1: Special Permit per Section 3-11.C.2 Height Restrictions to build a 45'-8.1/2" barn for agricultural purposes. Zone: Residential Design District. Applicant: Kenneth Kaplan

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The applicant is proposing to construct a 45' 8.5" barn on his property at 398 Grant Hill Rd. Section 17-2.C of the Tolland Zoning Regulations allows for a 20 foot maximum height for accessory structures. However, Section 3-11.C.2 "Height Restrictions" indicates:

*"C. Agricultural Structures:*

- 1. Structures used for the storage or protection of agricultural crops may not exceed 40 feet in any zone.*
- 2. The Commission may allow agricultural structures to exceed this height limit, in any zone, by Special Permit"*

The applicant indicates that he intends to expand the existing agricultural use of the property and use this structure as an agricultural structure as shown in the attached letter. The Zoning Regulations include the following definition of Agriculture:

"AGRICULTURE – The cultivation of ground, including the harvesting of crops, rearing and management of livestock, tillage, husbandry, farming, horticulture and forestry. Agriculture shall not include the cultivation or production of medical marijuana or recreational cannabis."

Additionally, this proposal requires a Wetlands Permit which will be heard at the March 21, 2024 Inland Wetlands and Watercourses Commission meeting. As the trigger for the Special Permit is solely related to building height, the Commission can grant the Special Permit prior to Wetlands Approval. If for some reason the Wetlands Commission required the applicant to significantly change the location of the barn, the applicant would need to return to the Commission to seek reapproval in accordance with Section 20-8.H of the Zoning Regulations.

As the property is located within 500 feet of Coventry, the Town of Coventry was notified 30 days in advance of the public hearing per state statute.

**Legal Notice  
Public Hearing**

**Tolland Planning & Zoning Commission**

The Tolland Planning & Zoning Commission will hold a Public Hearing on Monday, February 26, 2024 commencing at 7:00 p.m., to hear and discuss the following:

**PZC #24-1 – 398 Grant Hill Road** – Special Permit per Section 3-11.C.2 Height Restrictions to build a 45’-8.1/2” barn for agricultural purposes. Zone: Residential Design District. Applicant: Kenneth Kaplan

A copy of this application is on file and available for review in the Planning & Building Department at 21 Tolland Green, Tolland, CT.

To be advertised twice in the Journal Inquirer: Monday, February 12, 2024 and  
Thursday, February 22, 2024



**TOWN OF TOLLAND  
PLANNING AND ZONING COMMISSION  
APPLICATION FOR SITE PLAN OR SPECIAL PERMIT APPROVAL**

PZC # \_\_\_\_\_

What are you applying for? (check one):

Site Plan (new)

Special Permit (new)\*

Site Plan Modification

Special Permit Modification\*

*\*Most special permit applications require submittal of a site plan, with no additional fee for site plan required.*

Property Information	
Property Address:	398 Grant Hill Road
Property Owner:	Kenneth Kaplan
Zone: Farm	Map/Block/Lot: _____

Applicant Information	
Applicant Name:	Kenneth Kaplan
Mailing Address:	398 Grant Hill Road, Tolland CT 06084
Phone Number: 860-916-9784	Email Address: kenkaplan@kaplancomputers.com

Applicable Section of the Zoning Regulations which pertains to the proposed activity:
Building Height & Size

Describe proposed buildings, site work, and use:
The Barn Will be used to store farm equipment and tools for farm related activities maintaining and working our 52 Acre Farm
The Proposed Barn is 62'X120' and the plans were submitted with the site plans , There is not much site work required because it is in the middle of a 15 Acre Cleared Farm Field.

## Fee Schedule for Special Permits and Site Plans

**Special Permits & Site Plans\*****Site Plan or Special Permit****Fee for a new building or addition:**

- 10,000 gross square feet or less: \$300
- 10,001 to 50,000 gross square feet: \$500
- 50,001 or greater gross square feet: \$750 + \$25 for each additional 1,000 gross square feet

**No new building nor building addition:**

\$300 plus \$0.005 (half cent) per square foot of newly disturbed land area.

**Plus State Fee: \$60**

**Revision of an Approved Site Plan**

**Fee: \$150**

**Plus State Fee: \$60**

**Multi-Family Special Permit and Site Plan**

**Fee: \$300 plus \$10 per unit for each unit over ten units.**

**Plus State Fee: \$60**

**Golf Course Special Permit and Site Plan**

**Fee: \$750 plus \$10 per acre**

**Plus State Fee: \$60**

**Removal of Earth Products****Fee:**

- Less than 1,000 cubic yards (cy): \$250
- 1,001 to 50,000 cy: \$500
- 50,001 – 100,000 cy: \$1,000
- More than 100,001 cubic yards: \$2,000

**Plus State Fee: \$60**

**Removal of Earth Products - Post Approval**

**Annual Map Fee: \$50**

**Campground**

**Fee: \$250 plus \$10 per campsite**

**Plus State Fee: \$60**

**Campground – Post Approval**

**Annual Fee: \$2 per campsite**

Please submit the following with this form:

1. The fee must be submitted to be considered a complete application.
2. 7 paper copies and a pdf of the full plans, including all items required on the plans pursuant to Zoning Regulations.
3. The check list contained in Section 20-10 of the Zoning Regulations with an explanation of any submittal requirements for which the applicant seeks a waiver.

All of the above statements and the statements contained in any documents and plans submitted herewith are true to the best of my knowledge:

**Applicant Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Property Owner Signature\*:** \_\_\_\_\_ **Date:** \_\_\_\_\_

\*Or submit signed letter authorizing applicant to submit application on property owner's behalf.

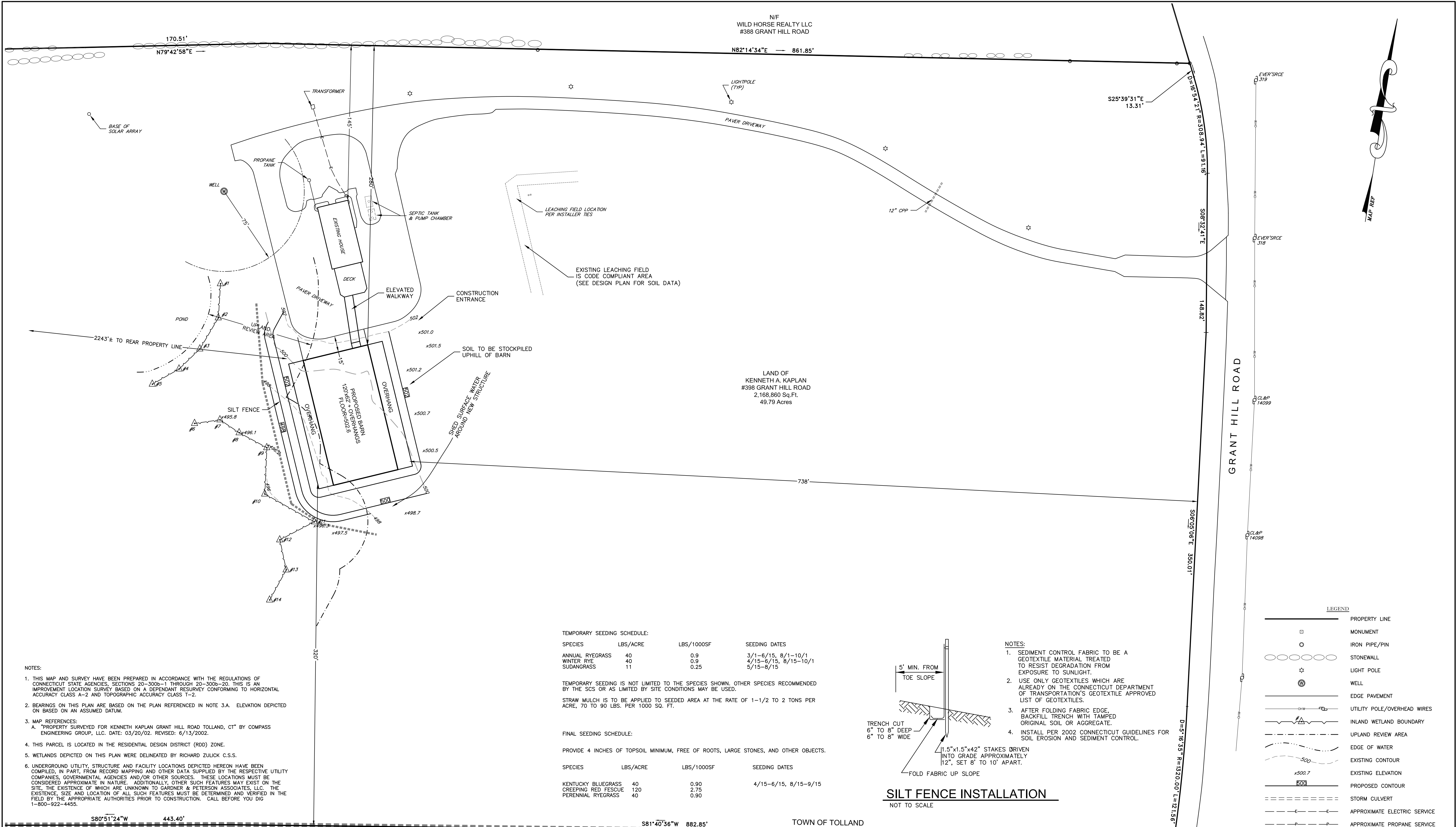
**OFFICE USE ONLY**

P&Z # \_\_\_\_\_

Administration	
Town Fee:	
State DEEP Fee:	
Engineering Rev Fee:	
Form of Payment:	
Date Submitted:	
Date of Receipt:	
Legal Notice Dates:	
Date of Decision:	
Legal Notice of Decision:	
Extensions: (if any)	

*Stamp:*

<b>Description:</b>	



- NOTES:**
1. THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEFENDANT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
  2. BEARINGS ON THIS PLAN ARE BASED ON THE PLAN REFERENCED IN NOTE 3.A. ELEVATION DEPICTED ON BASED ON AN ASSUMED DATUM.
  3. MAP REFERENCES:  
A. "PROPERTY SURVEYED FOR KENNETH KAPLAN GRANT HILL ROAD TOLLAND, CT" BY COMPASS ENGINEERING GROUP, LLC. DATE: 03/20/02. REVISED: 6/13/2002.
  4. THIS PARCEL IS LOCATED IN THE RESIDENTIAL DESIGN DISTRICT (RDD) ZONE.
  5. WETLANDS DEPICTED ON THIS PLAN WERE DELINEATED BY RICHARD ZULICK C.S.S.
  6. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

**TEMPORARY SEEDING SCHEDULE:**

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-8/15

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

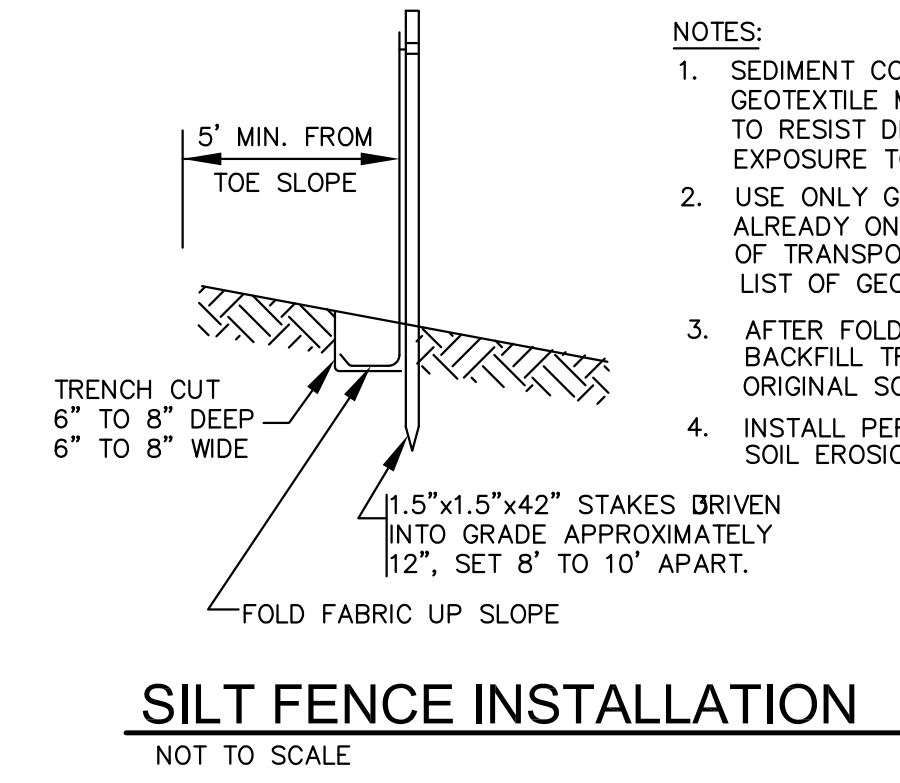
STRAW MULCH IS TO BE APPLIED TO SEEDING AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

**FINAL SEEDING SCHEDULE:**

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	

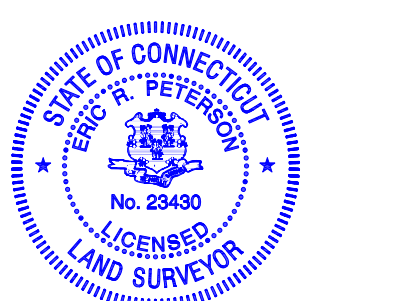
- NOTES:**
1. SEDIMENT CONTROL FABRIC TO BE A GEOTEXTILE MATERIAL TREATED TO RESIST DEGRADATION FROM EXPOSURE TO SUNLIGHT.
  2. USE ONLY GEOTEXTILES WHICH ARE ALREADY ON THE CONNECTICUT DEPARTMENT OF TRANSPORTATION'S GEOTEXTILE APPROVED LIST OF GEOTEXTILES.
  3. AFTER FOLDING FABRIC EDGE, BACKFILL TRENCH WITH TAMPED ORIGINAL SOIL OR AGGREGATE.
  4. INSTALL PER 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.



**SILT FENCE INSTALLATION**  
NOT TO SCALE

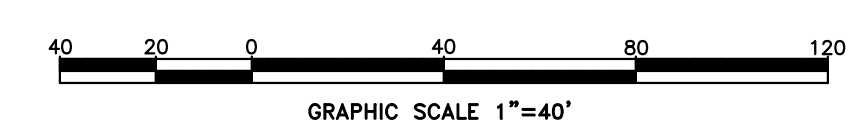
**LEGEND**

—	PROPERTY LINE
□	MONUMENT
○	IRON PIPE/PIN
○ ○ ○ ○ ○	STONEMALL
☆	LIGHT POLE
⊙	WELL
—	EDGE PAVEMENT
—	UTILITY POLE/OVERHEAD WIRES
—	INLAND WETLAND BOUNDARY
—	UPLAND REVIEW AREA
—	EDGE OF WATER
—	EXISTING CONTOUR
—	EXISTING ELEVATION
—	PROPOSED CONTOUR
—	STORM CULVERT
—	APPROXIMATE ELECTRIC SERVICE
—	APPROXIMATE PROPANE SERVICE



I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

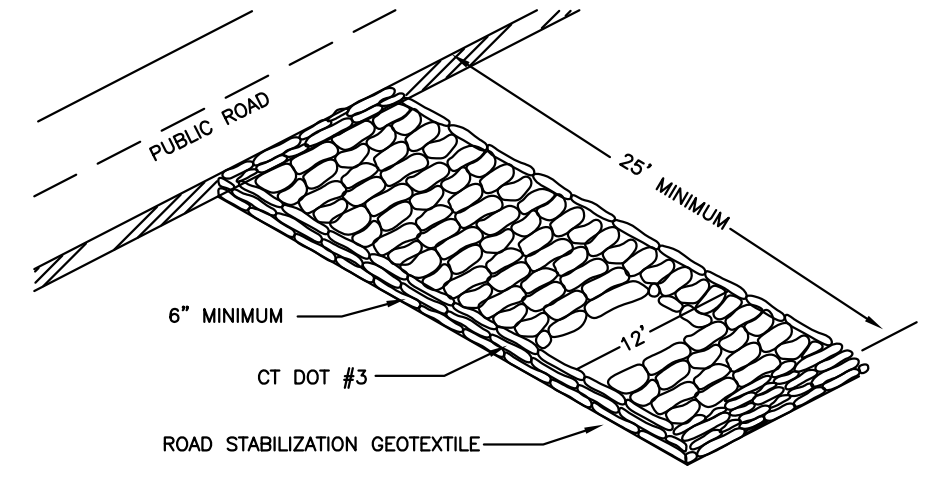
*Eric R. Peterson*  
ERIC R. PETERSON  
L.S. 23430  
REGISTRATION NO.



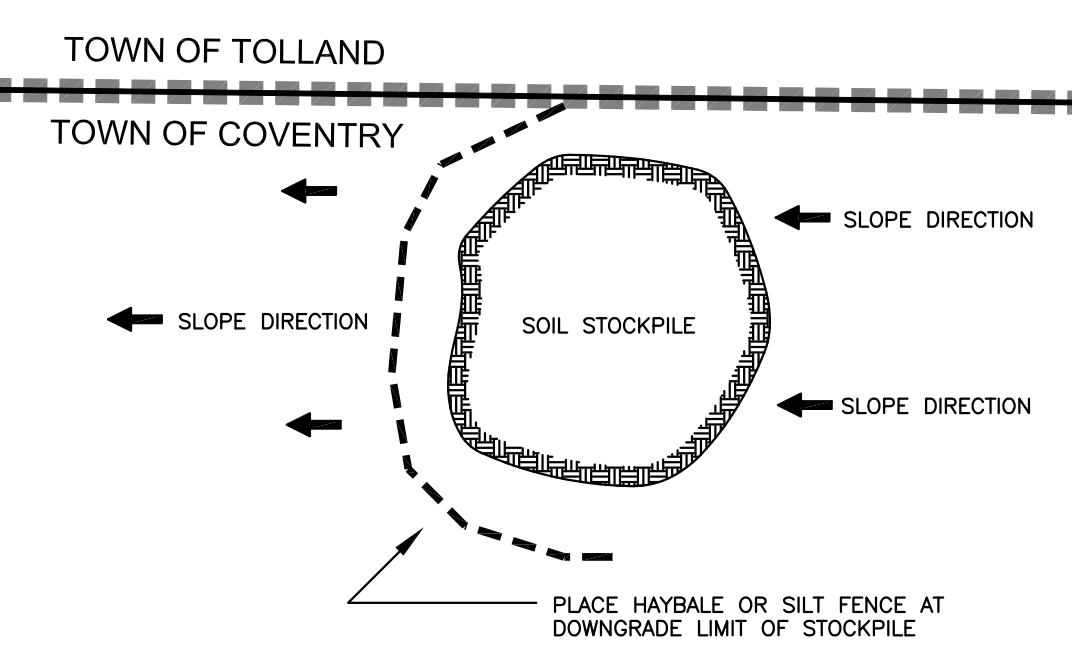
THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

*Richard Zulick*  
RICHARD ZULICK C.S.S.

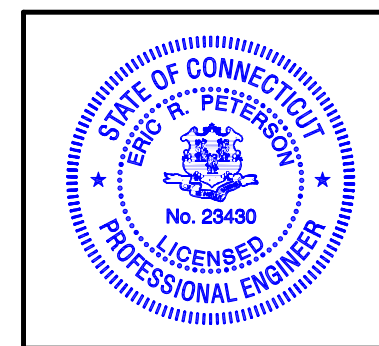
N/F  
RICHARD MANNARINO &  
ELIZABETH FLANNERY  
1171 GRANT HILL ROAD



**CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**STOCKPILE EROSION PROTECTION DETAIL**  
NOT TO SCALE



REVISIONS

01/10/2024	
01/25/2024	

**IMPROVEMENT LOCATION SURVEY**

PERMIT PLAN  
LAND OF  
**KENNETH A. KAPLAN**  
398 GRANT HILL ROAD  
TOLLAND, CONNECTICUT

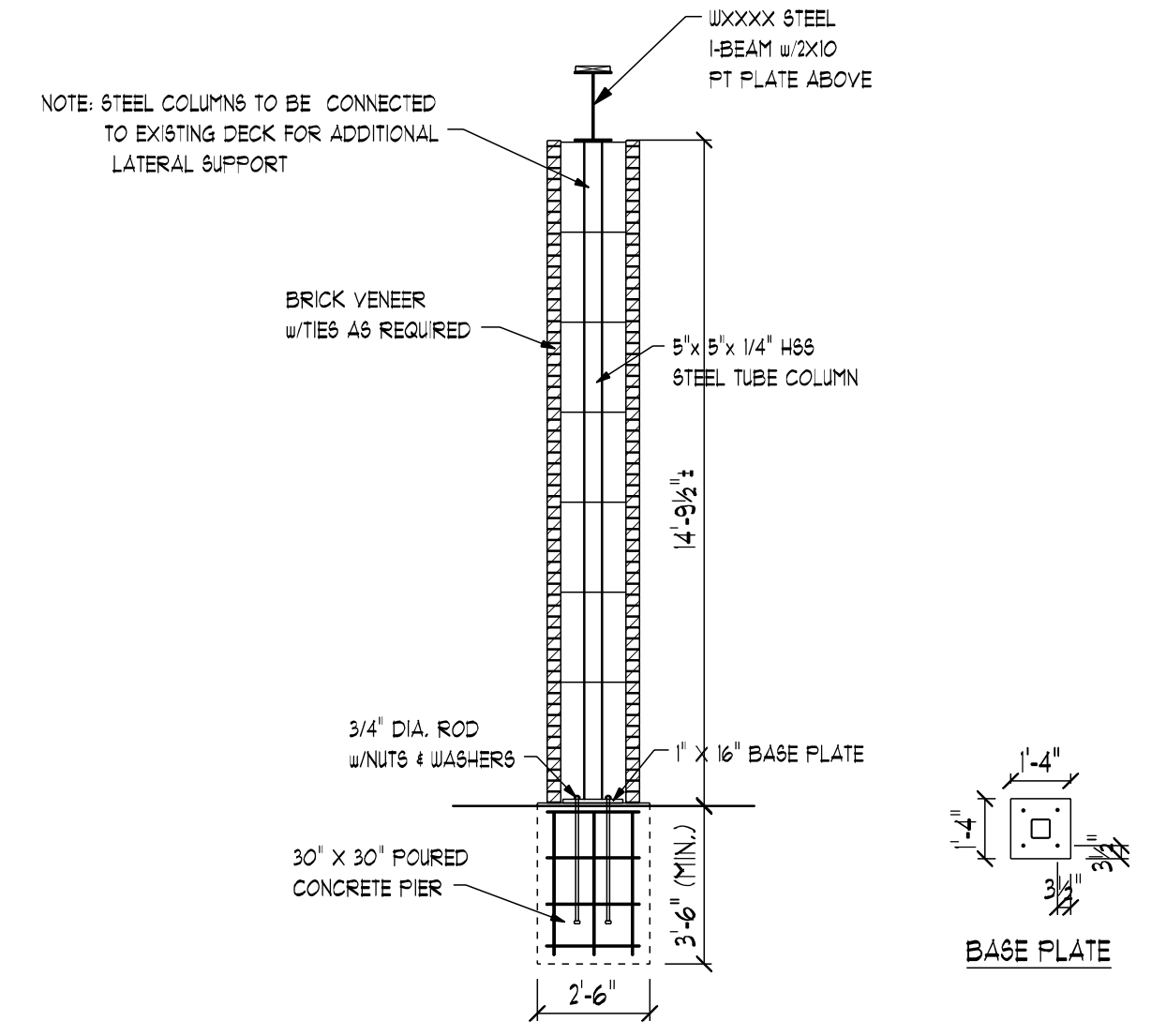
**GARDNER & PETERSON ASSOCIATES, LLC**  
178 HARTFORD TURNPIKE  
TOLLAND, CONNECTICUT

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=40'	11-16-2023	1 OF 1	10489-K

DRAWING SCHEDULE	
ARCHITECTURAL	
FRONT ELEVATION	A-1
LEFT ELEVATION	A-2
RIGHT ELEVATION	A-3
REAR ELEVATION	A-4
FOUNDATION PLAN	A-5
BARN FLOOR PLAN	A-6
STORAGE AREA FLOOR PLAN	A-7
GENERAL NOTES & BUILDING SECTIONS	A-8



**FRONT ELEVATION**  
 SCALE: 3/16" = 1'-0"



**STEEL COLUMN AND FOOTING DETAILS**  
 @ END OF WALKWAY  
 1/4" = 1'-0" SCALE

**NEW BARN FOR KEN KAPLAN**  
 398 GRANT HILL ROAD  
 TOLLAND, CT 06084

DRAWN FOR:  
 KEN KAPLAN

BUILDING AREA:  
 BARN AREA: 1440 SQ. FT.  
 UNF. STO. AREA: 1366 SQ. FT.

DATE  
 1/24/24  
 REVISIONS:

SCALE  
 As Noted

DRAWING #  
 A-1



**NEW BARN FOR KEN KAPLAN**  
**398 GRANT HILL ROAD**  
**TOLLAND, CT 06084**

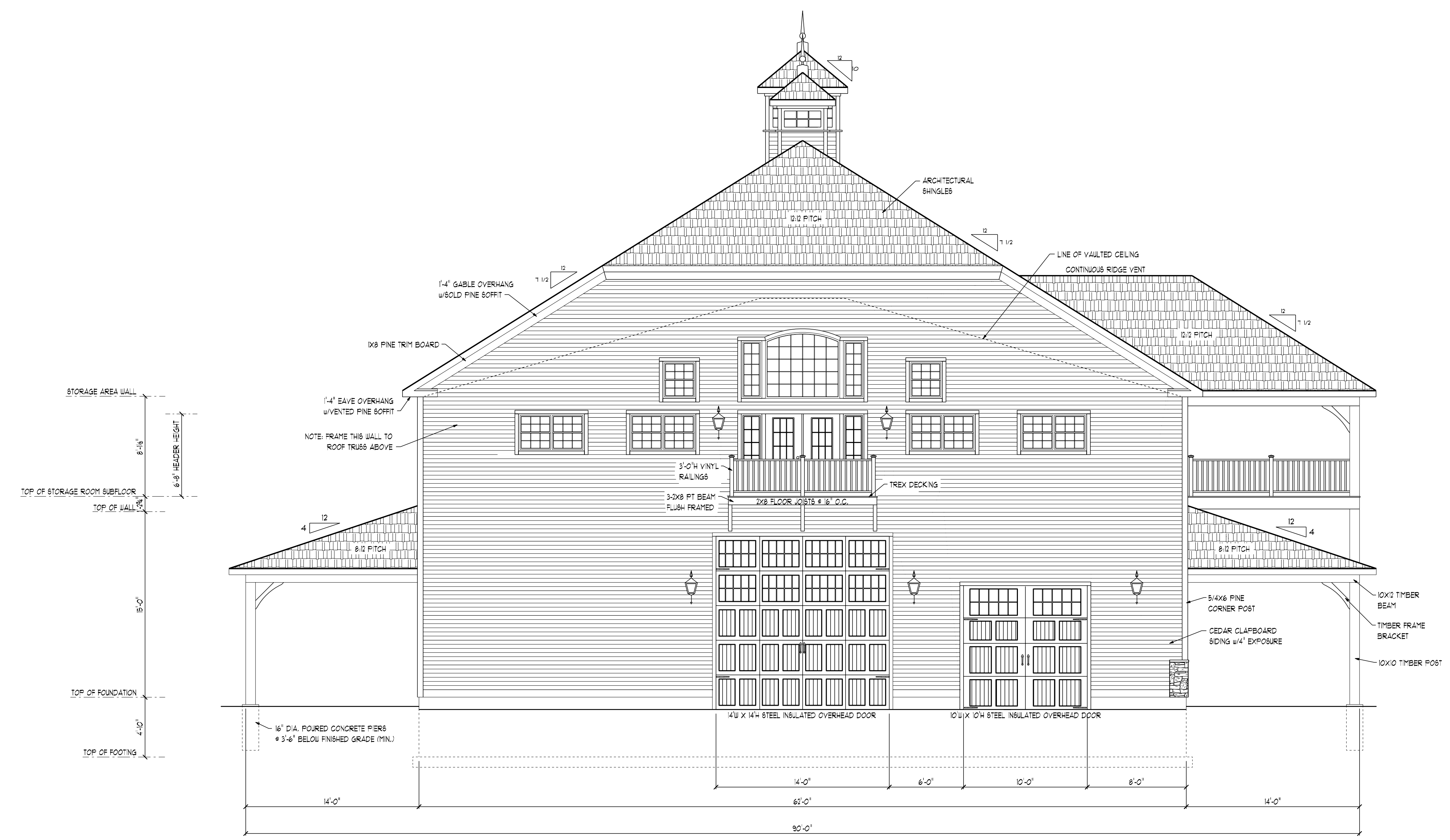
DRAWN FOR:  
 KEN KAPLAN

BUILDING AREA:  
 BARN AREA: 1440 SQ. FT.  
 UNF. STO. AREA: 1366 SQ. FT.

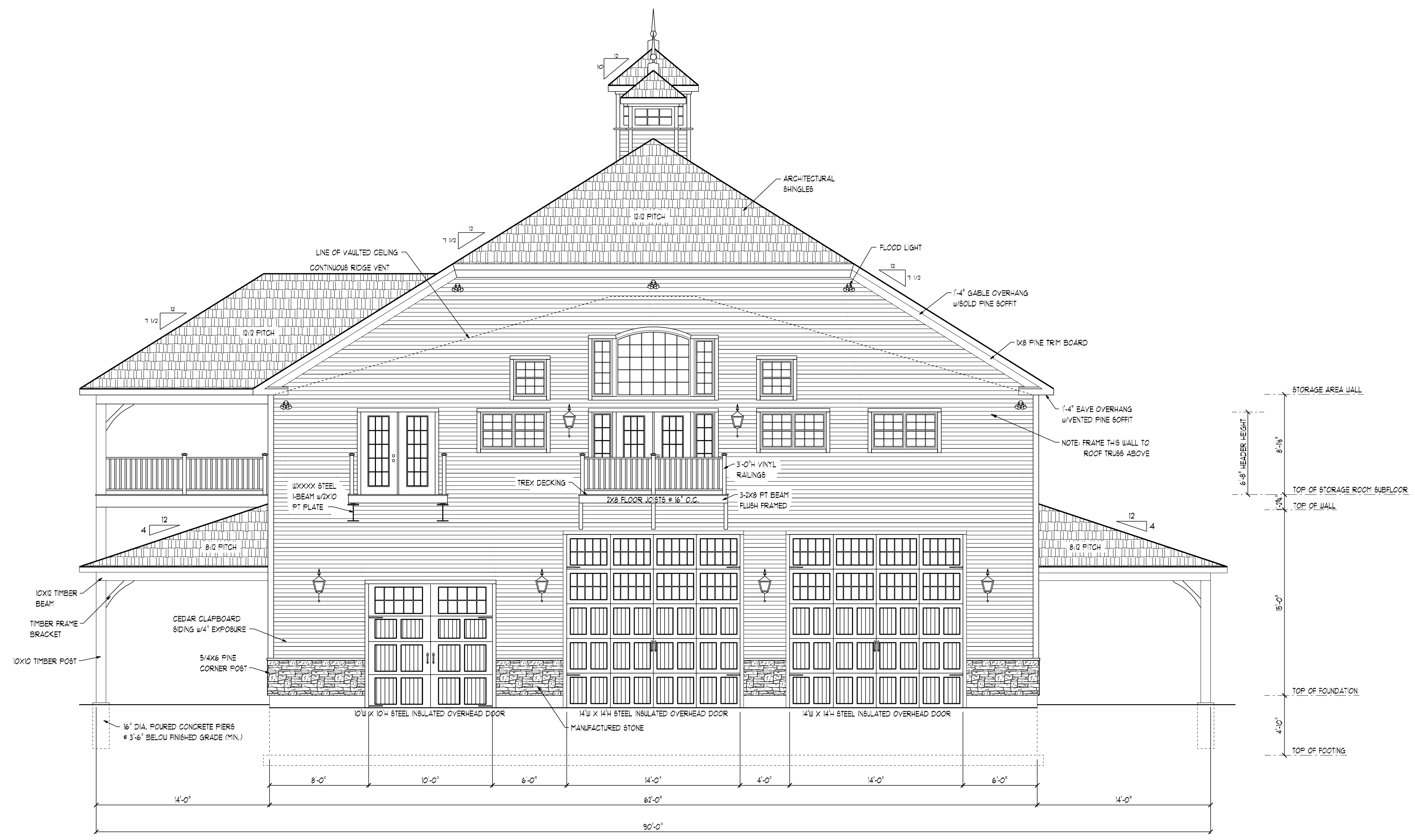
DATE  
 1/24/24  
 REVISIONS:

SCALE  
 3/16" = 1'-0"

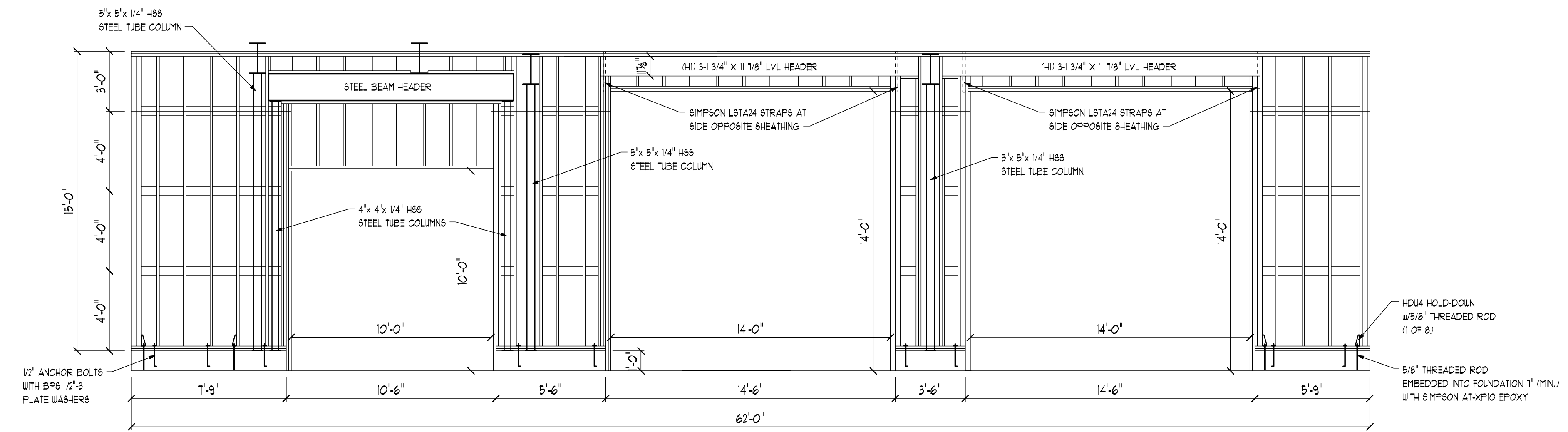
DRAWING #  
 A-2



**LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"



**RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"



**GARAGE DOOR WALL DETAIL**  
 1/4" = 1'-0" SCALE

**NEW BARN FOR KEN KAPLAN**  
**398 GRANT HILL ROAD**  
**TOLLAND, CT 06084**

DRAWN FOR:  
 KEN KAPLAN

BUILDING AREA:  
 BARN AREA: 1440 SQ. FT.  
 UNF. STO. AREA: 1366 SQ. FT.

DATE  
 1/24/24  
 REVISIONS:

SCALE  
 As Noted

DRAWING #  
 A-3



**REAR ELEVATION**  
 SCALE: 3/16" = 1'-0"

**NEW BARN FOR KEN KAPLAN**  
**398 GRANT HILL ROAD**  
**TOLLAND, CT 06084**

DRAWN FOR:  
 KEN KAPLAN

BUILDING AREA:  
 BARN AREA: 1440 SQ. FT.  
 UNF. STO. AREA: 1366 SQ. FT.

DATE  
 1/24/24  
 REVISIONS:

SCALE  
 3/16" = 1'-0"

DRAWING #  
 A-4

**NEW BARN FOR KEN KAPLAN**  
**398 GRANT HILL ROAD**  
**TOLLAND, CT 06084**

DRAWN FOR:  
 KEN KAPLAN

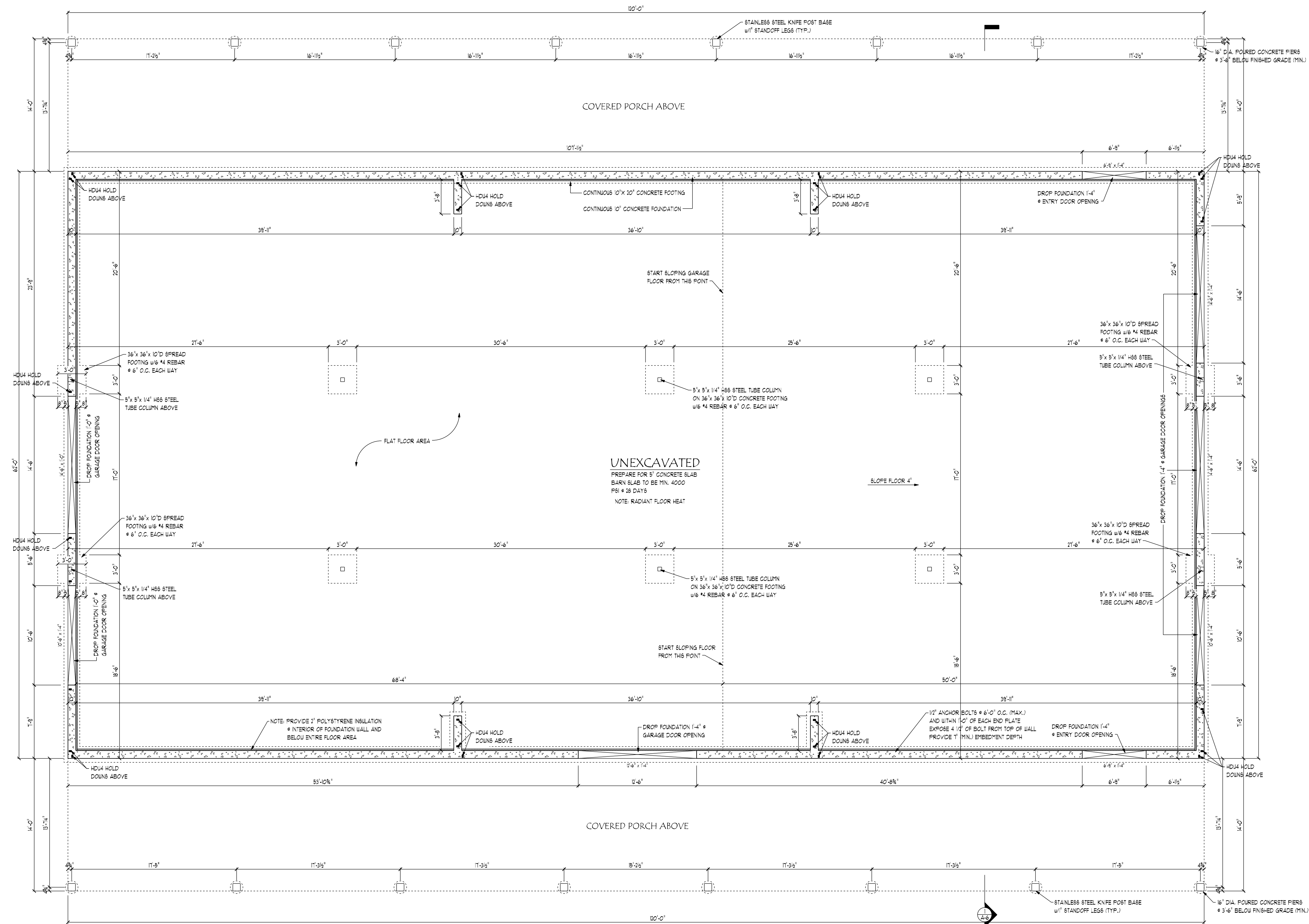
BUILDING AREA:  
 BARN AREA: 1440 SQ. FT.  
 UNF. STO. AREA: 1366 SQ. FT.

DATE  
 1/24/24

REVISIONS:

SCALE  
 3/16" = 1'-0"

DRAWING #  
 A-5



**FOUNDATION PLAN**  
 SCALE: 3/16" = 1'-0"

**NEW BARN FOR KEN KAPLAN**  
**398 GRANT HILL ROAD**  
**TOLLAND, CT 06084**

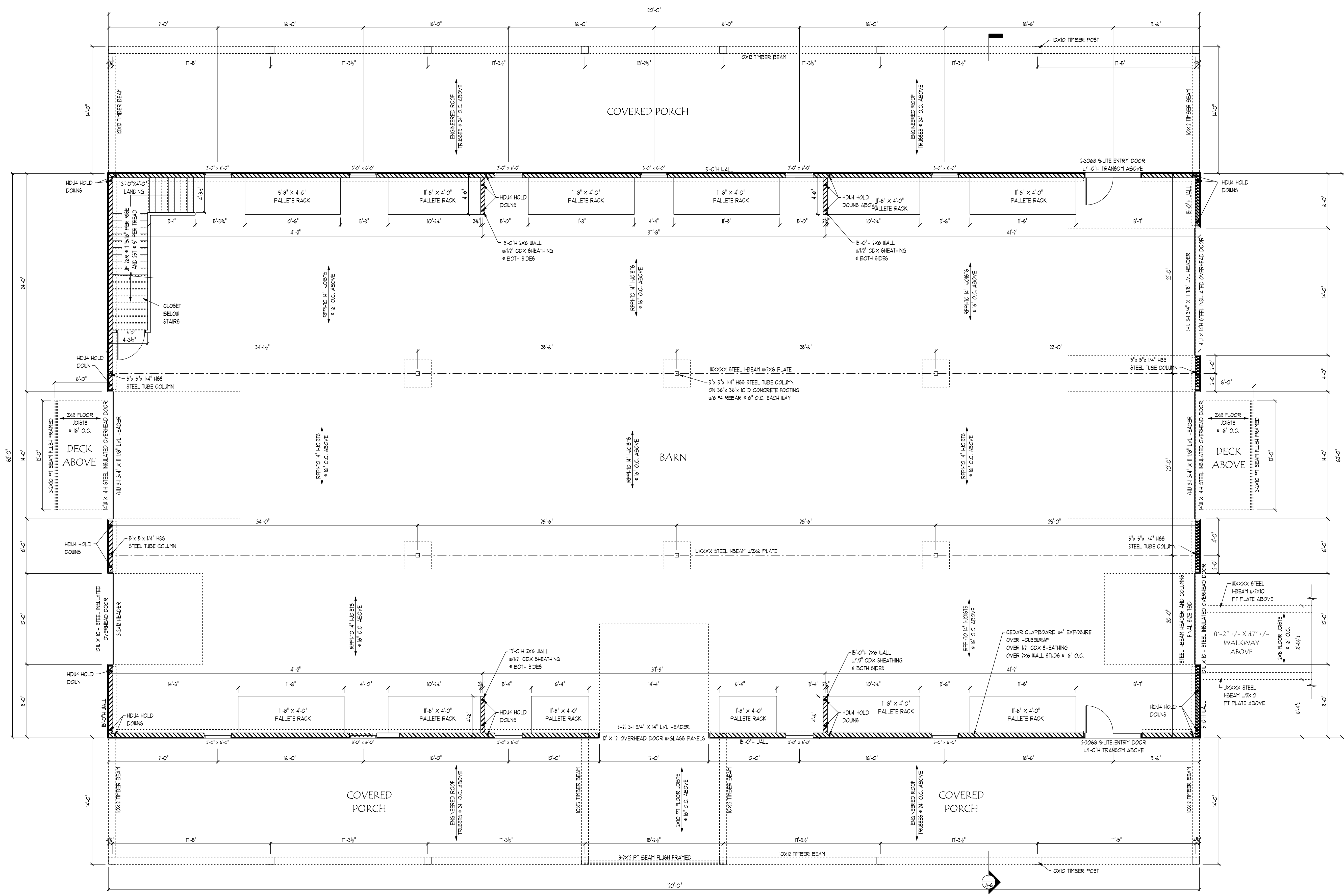
DRAWN FOR:  
 KEN KAPLAN

BUILDING AREA:  
 BARN AREA: 1440 SQ. FT.  
 UNF. STO. AREA: 1366 SQ. FT.

DATE  
 1/24/24  
 REVISIONS:

SCALE  
 3/16" = 1'-0"

DRAWING #  
 A-6



**FIRST FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

XXXXX ENGINEERED BRACED WALL PANEL LOCATION AT 15'-0" WALLS, SEE SCHEDULE ON PAGE A-6  
 XXXXX ENGINEERED BRACED WALL PANEL LOCATION AT 15'-0" OVERHEAD DOOR WALL, SEE SCHEDULE ON PAGE A-6

**NEW BARN FOR KEN KAPLAN**  
**398 GRANT HILL ROAD**  
**TOLLAND, CT 06084**

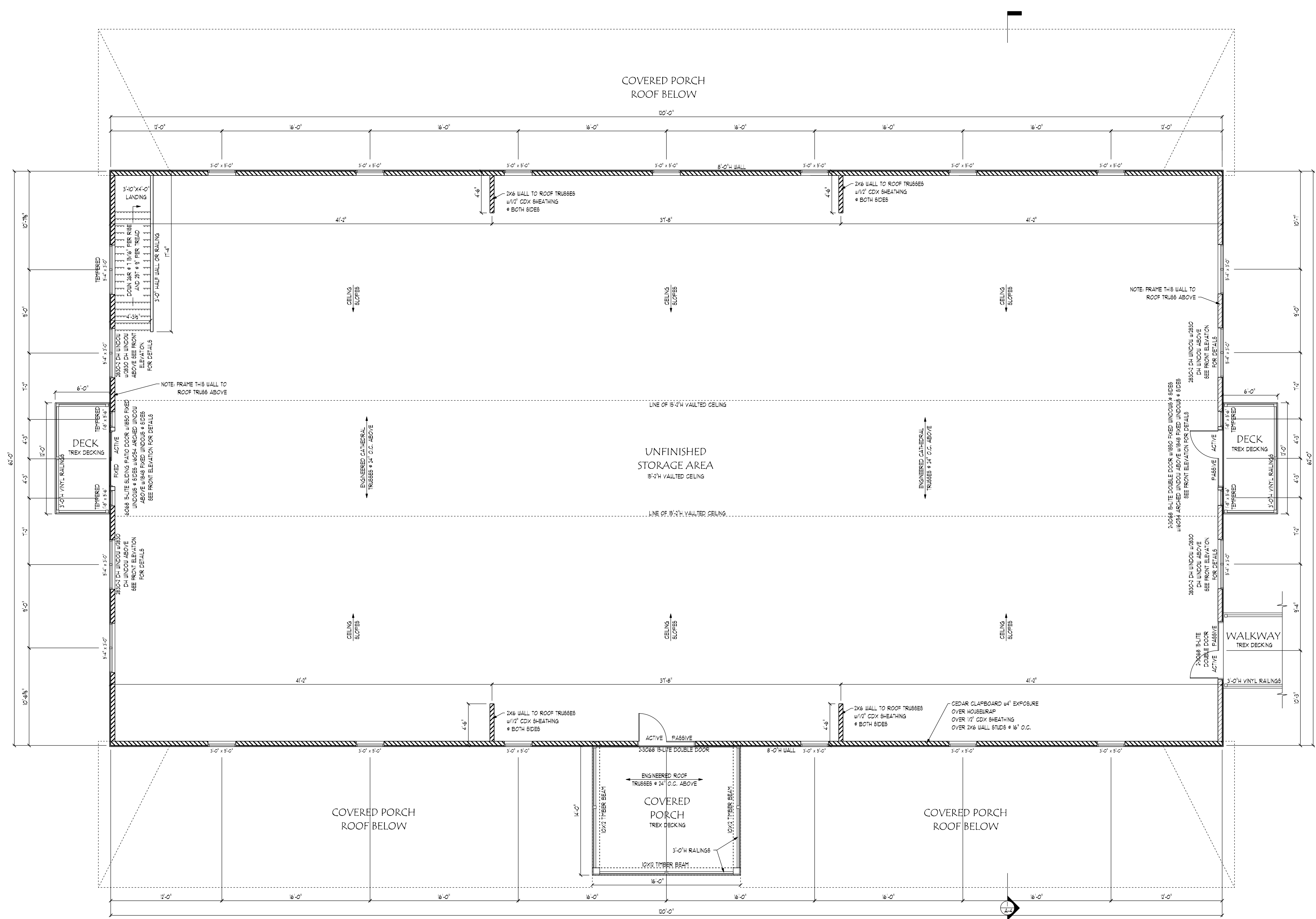
DRAWN FOR:  
 KEN KAPLAN

BUILDING AREA:  
 BARN AREA: 1440 SQ. FT.  
 UNF. STO. AREA: 1366 SQ. FT.

DATE  
 1/24/24  
 REVISIONS:

SCALE  
 3/16" = 1'-0"

DRAWING #  
 4-1



**SECOND FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

### CODE INFORMATION

CODE BA816: CONNECTICUT STATE BUILDING CODE, 2022  
INTERNATIONAL RESIDENTIAL CODE, 2021  
INTERNATIONAL ENERGY CONSERVATION CODE, 2021  
NATIONAL ELECTRICAL CODE, 2020

### FOUNDATION NOTES AND SPECIFICATIONS

1. ALL CONCRETE FOR FOUNDATION WALLS AND FOOTINGS SHALL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT THE AGE OF 28 DAYS. ALL CONCRETE FOR BASEMENT SLABS SHALL OBTAIN 3000 PSI AT THE AGE OF 28 DAYS. ALL CONCRETE FOR GARAGE SLABS SHALL OBTAIN 3500 PSI AT THE AGE OF 28 DAYS. ALL FOOTINGS SHALL BE A MINIMUM OF 3'-6" BELOW GRADE. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF A MINIMUM OF 2000 PCF BEARING CAPACITY.
2. ALL ANCHOR BOLTS TO BE 1/2" X 12" @ 6'-0" O.C., MINIMUM OF TWO BOLTS PER WALL.
3. ALL UNSUPPORTED FOUNDATION WALLS 8'-0" H OR LESS SHALL HAVE 1 #4 REBAR WITHIN 12" OF THE TOP OF WALL AND 1 #4 REBAR NEAR MID-HEIGHT OF THE WALL.
4. ALL FOUNDATION DRAINAGE AND DAMP-PROOFING SHALL COMPLY WITH SECTIONS R405 AND R406 OF THE 2021 IRC

### FRAMING NOTES AND SPECIFICATIONS

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER UNLESS NOTED OTHERWISE. POST ALL LOADS DOWN TO FOUNDATION OR BEAM BELOW. ALL PRESSURE TREATED WOOD SHALL BE SOUTHERN PINE #2 OR BETTER. ALL FASTENERS IN PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.
2. INSTALL ALL LVL BEAMS IN ACCORDANCE WITH MANUFACTURER'S DETAILS AND INSTRUCTIONS.
3. INSTALL ALL ENGINEERED TRUSSES AND/OR ENGINEERED FLOOR SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S DETAILS, DRAWINGS AND INSTRUCTIONS.
4. PROVIDE SOLID BLOCKING ABOVE ALL BEAMS AND BEARING WALLS.
5. ALL FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH 2021 IRC CODE TABLE R602.3(1) AND TABLE R602.3(2) AND AS NOTED.
6. PROVIDE METAL STRAPS ACROSS EDGE OF TOP PLATES IF OVER 50% NOTCHED.

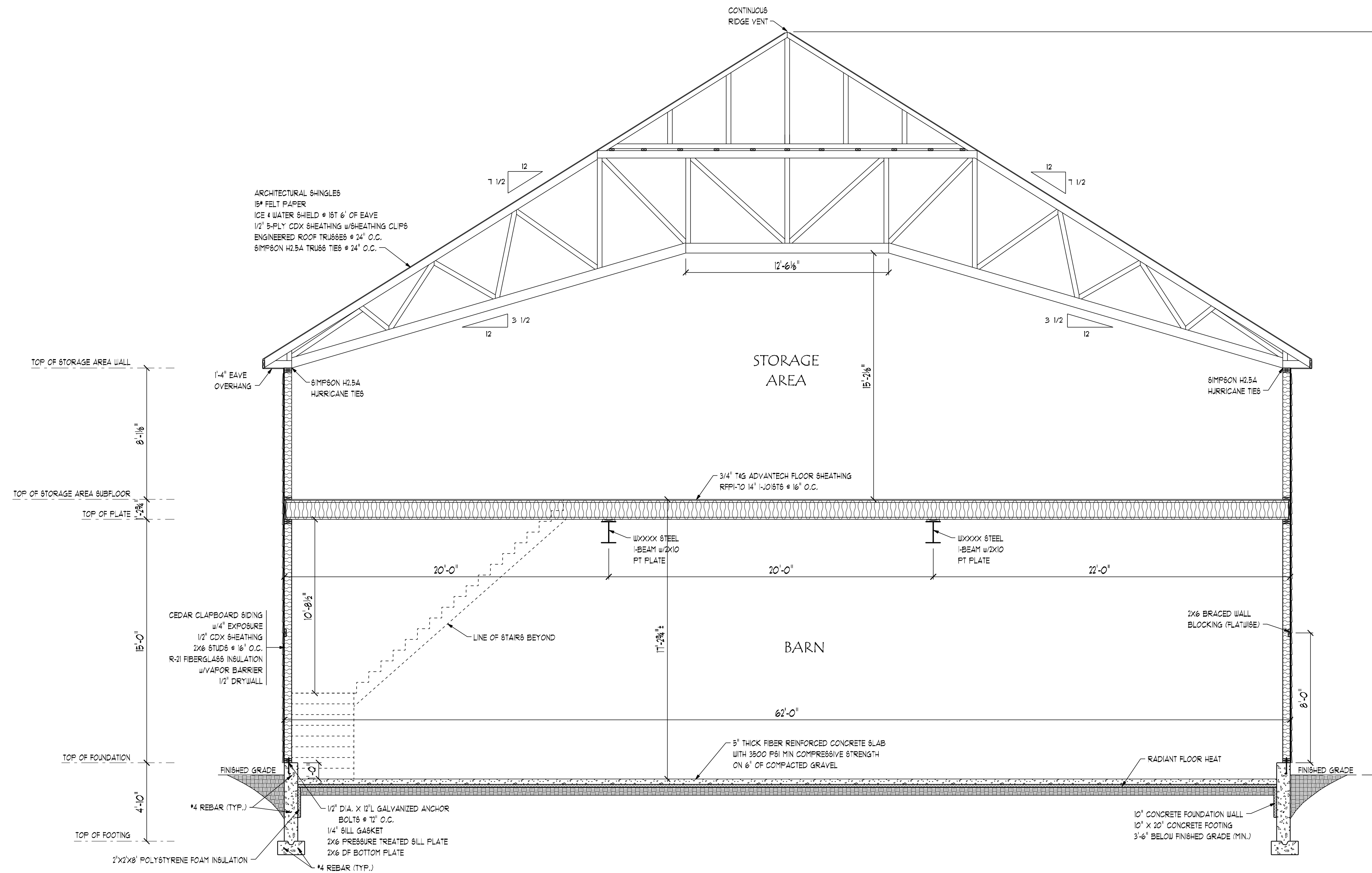
### GENERAL NOTES AND REQUIREMENTS

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF PROPOSED STRUCTURE PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL COLUMNS AND/OR BUILT-UP SOLID FRAMING SHALL BE DESIGNED TO CARRY THE LOADS BEING APPLIED TO THEM. THE LOAD PATH SHALL BE CARRIED DOWN THROUGH THE LEVELS BELOW, AND SHALL TERMINATE AT THE FOUNDATION OR OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.

### DESIGN LOAD SPECIFICATIONS

DESIGN LOADS	LIVE LOAD	DEAD LOAD
ROOF	35 PSF	10 PSF
SECOND FLOOR	60 PSF	10 PSF

ULTIMATE WIND SPEED, V(U.L.T.): 120 MPH (3-SEC. GUST)



**BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

K.O. HOME DESIGN, LLC.  
ARCHITECTURAL DESIGN &  
ENGINEERING SERVICES  
CELL: 860.930.7075  
KEITH@KOHOMEDSIGN.COM  
ELLINGTON, CT 06029

**NEW BARN FOR KEN KAPLAN**  
**398 GRANT HILL ROAD**  
**TOLLAND, CT 06084**

DRAWN FOR:  
KEN KAPLAN

BUILDING AREA:  
BARN AREA: 1440 SQ. FT.  
UNF. STO. AREA: 1366 SQ. FT.

DATE  
1/24/24  
REVISIONS:

SCALE  
1/4" = 1'-0"

DRAWING #  
A-8

**Kenneth A. Kaplan**  
*“The Kaplan Family Farm”*

January 9, 2024

Laura Smith  
Building Permit Technician  
Town of Tolland  
21 Tolland Green,  
Tolland, CT 06084

Dear Laura,

The 52 acre Kaplan Family Farm is one of the last USDA listed Grade A soil farm fields left in Tolland. Purchased over 24 years ago from the Hannon Family. The farm was owned by two families since the colonists, The Hannon Family from 1740 to 1999 and the Kaplan Family 1999 to present.

When the farm was purchased by the Kaplan Family, Ken saw the inner beauty of the property and hired Mr. Donald Wirth a Landscape Architect to develop the property to its natural beauty. Mr. Wirth was inspired by and studied the works of Frederick Law Olmsted. For the last 24 years Ken has developed the property following the landscape design of Mr. Wirth into a tree farm and natural park and sanctuary for native wildlife keeping with Olmsted's vision of natural landscape design.

The Front Field is the last 15 Acre Field in Tolland and is the habitat for Honey Bees, with the field consisting of native wildflowers Dandelions, Buttercups, field grass etc.

The Farm has a pond for stocking native fish and waterfowl, and is utilized by area wildlife creating a natural sanctuary for deer, eagles, hawks, coyotes, bobcats, fox and etc. We have planted native trees and plants to accommodate the wildlife and bird habit such as 15 American Beech, 30 White Pine, 70 Iron Wood, several Apple, Peach & Pear Trees along with High Bush Blueberry, Mountain Laurel and Blueberry bushes.

In the last year alone, for the wetlands area we planted 4 acres, \$3,000 worth of native wetland wild flower seeds for the Monarch Butterflies, Honey Bees ie., pollinators and provided a habitat for native wetland birds.

For the woodland area we planted over 3,000 bulbs of native flowers and will be expanding the bulb planting every year and adding more native Coniferous Trees, and American Beech throughout the property.

Presently we raise white ring neck doves and as we plan for retirement (which is not far away, with us being in our mid 50's) we plan to incorporate long horn steer, goats, chickens, mallard ducks, turkeys, pheasant and beekeeping to the farm. This all requires the barn to house the livestock and farm equipment to maintain the farm. Presently the farm is being maintained by one full-time employee and one part time employee.

Sincerely yours,



398 GRANT HILL ROAD, TOLLAND, CT 860-916-9784 [KENKAPLAN@KAPLANCOMPUTERS.COM](mailto:KENKAPLAN@KAPLANCOMPUTERS.COM)

Kenneth A. Kaplan



**Cassandra Santoro**

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**From:** David Corcoran  
**Sent:** Wednesday, February 21, 2024 3:52 PM  
**To:** Cassandra Santoro  
**Subject:** FW: 398 Grant Hill PA 490

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**From:** Jason Lawrence <jlawrence@Tollandct.gov>  
**Sent:** Wednesday, February 21, 2024 15:48  
**To:** David Corcoran <dcorcoran@Tollandct.gov>  
**Subject:** RE: 398 Grant Hill PA 490

Hi David,

Yes, 50.74 total acres. 30.31 acres of Forest and 17 acres of Farm land. Both fall under PA490. He also has 3.43 acres of residential land, 2 acre building lot and 1.43 excess land.

*Jason Lawrence*

Assessor  
860-871-3655

**\*PLEASE NOTE MY NEW EMAIL ADDRESS\***  
[jlawrence@Tollandct.gov](mailto:jlawrence@Tollandct.gov)

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**From:** David Corcoran <dcorcoran@Tollandct.gov>  
**Sent:** Wednesday, February 21, 2024 8:13 AM  
**To:** Jason Lawrence <jlawrence@Tollandct.gov>  
**Subject:** 398 Grant Hill PA 490

Ken Kaplan at 398 Grant Hill is applying for an oversized farm structure that requires a Special Permit from PZC - is any portion of his property in PA 490 and if so is it in as a farm?

Thanks,

David Corcoran, AICP, CZEO  
Director of Planning and Development  
Town of Tolland  
21 Tolland Green  
Tolland, CT 06084  
(860) 871-3601



TOWN of TOLLAND/ 21 Tolland Green, Tolland, Connecticut 06084

## MEMO

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**TO:** Planning and Zoning Commission

**FROM:** David Corcoran, AICP, Director of Planning & Development

**DATE:** February 21, 2024

**RE:** **PZC #24-2-** Amend Section 16-13 "Farm Brewery, Farm Cidery, Farm Distillery and Farm Winery" to allow the sale of alcoholic beverages manufactured within 30 miles of the premises to be sold on site. Applicant: Larry Lemek and RJI Enterprises.

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The applicant has submitted the attached text amendment for consideration by the Planning and Zoning Commission, which would allow for the sale of a limited quantity of alcohol manufactured off-premises for a permitted Major Farm Brewery/Cidery/Distillery/Winery.

Previously, the Town has updated its cidery regulations in 2023 to establish two classes of Farm Brewery/Cidery/Distillery/Winery. The Minor Farm Brewery/Cidery/Distillery/Winery primarily allows for manufacturing and on-site sale and is allowed by Zoning Permit, while the Major Farm Brewery/Cidery/Distillery/Winery allows for on-site tastings and is allowed by Special Permit. The proposed regulation changes would only apply to Major Farm Brewery/Cidery/Distillery/Winery facilities. The proposed regulation change would limit the percentage of off-site alcohol sold to 25% of the alcoholic offerings on-site at any given time.

The application appears to be consistent with Tolland POCD Objective C.25 to "Encourage Agri-tourism."

**Legal Notice  
Public Hearing**

**Tolland Planning & Zoning Commission**

The Tolland Planning & Zoning Commission will hold a Public Hearing on Monday, February 26, 2024 commencing at 7:00 p.m., to hear and discuss the following:

**PZC #24-2- Zoning Regulation Amendment-** Request to amend Section 16-13 “Farm Brewery, Farm Cidery, Farm Distillery and Farm Winery” to allow the sale of alcoholic beverages manufactured within 30 miles of the premises to be sold on site. Applicant: Larry Lemek and RJL Enterprises.

A copy of this application is on file and available for review in the Planning & Building Department at 21 Tolland Green, Tolland, CT.

To be advertised twice in the Journal Inquirer: Monday, February 12, 2024 and  
Thursday, February 22, 2024



**TOWN OF TOLLAND  
APPLICATION TO AMEND REGULATIONS**

Please attach the full text of the proposed changes, edits, amendments, and new text that you are proposing.

**Which document are you proposing to amend?**

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> Zoning Regulations | <input type="checkbox"/> Wetlands Regulations               |
| <input type="checkbox"/> Subdivision Regulations       | <input type="checkbox"/> Plan of Conservation & Development |

**List all sections of the regulations that you propose to amend or add text to:**

Section 16-13 Farm Brewery, Farm Cidery, and Winery  
 Section E / C  
 Alcoholic beverages manufactured within thirty miles of the premises may also be sold and tasted on-site provided they comprises 25% or less of the alcoholic beverage selection available for sale.

**Describe the purpose for these proposed changes:**

The reason for this proposal is to be able to sell 1 or 2 local craft beers to increase our offerings. We have had requests from many customers for us to offer local beers.

**Describe how this request is consistent with the Tolland Plan of Conservation and Development:**

This request bolsters agri tourism in our area. We will sell beer from a local brewery and hopefully that local brewery will carry our cider.

**Applicant Information**

Applicant Name: Larry Lemek RJL Enterprises  
 Mailing Address: 325 Goose Lane  
 Phone Number: 860-798-8943 Email Address: LLdigmores@yahoo.com

(Over)

All of the above statements and the statements contained in any documents and plans submitted herewith are true to the best of my knowledge:

Applicant Signature: LLH Date: 1-25-24

Please note:

1. If also proposing to amend the Zoning Map, a separate Map Amendment Form and fee must be submitted.
2. The fee of \$300.00 plus a \$60.00 State fee must be submitted to be considered a complete application.

OFFICE USE ONLY

Fee Amount: \$360.00 Approved: \_\_\_\_\_  
 Form of Payment: check Approval Date: \_\_\_\_\_  
 Date Submitted: \_\_\_\_\_ Effective Date: \_\_\_\_\_  
 (stamp)

RECEIVED  
JAN 25 2024

BY: ame

**Section 16-13. Farm Brewery, Farm Cidery, Farm Distillery and Farm Winery****A. Intent**

The intent of these regulations is to support agriculture in Tolland by allowing expanded economic enterprises on farms while ensuring that activities are compatible with residential zones and minimizing potential impacts to nearby residences. The activities and uses permitted in this Section are intended to be accessory to a farm operation.

**B. General Regulations for all Farm Breweries, Cideries, Distilleries, and Wineries**

1. Minimum lot size: 15 acres
2. All refuse areas shall be located a minimum of 100 feet from all property lines.
3. The farm brewery, winery, cidery, or distillery shall grow on the premises of the farm brewery, winery, cidery, or distillery or on property under the same ownership and control of the applicant or leased by applicant within Connecticut an average crop of ingredients, excluding water, equal to not less than 25% of the ingredients used in the manufacture of the farm brewery, winery, cidery, or distillery's product.
4. The establishment shall not sell, serve, or offer tastings of alcoholic beverages that were not manufactured on the premises.
5. To the extent practicable, truck deliveries and pick-ups between 10 p.m. and 6 a.m. should be avoided.
6. There shall be no amplified music or amplified sound.

**C. Permit Requirements:**

1. Minor Farm Breweries, Cideries, Distilleries, and Wineries – Zoning Permit
2. Major Farm Breweries, Cideries, Distilleries, and Wineries – Special Permit

**D. Permitted Uses and Regulations for Minor Farm Breweries, Cideries, Distilleries, and Wineries**

In addition to the farming operation and other uses customary and incidental to a farm, retail and wholesale sales of the products grown and manufactured on property owned or leased by the permittee in Tolland as part of a Roadside Stand shall be permitted with a Zoning Permit. Retail sales of beer-, cider-, wine- and alcohol- related merchandise, such as glasses, mugs, and items that promote the product or are directly related to the use of the product are allowed.

**E. Permitted Uses and Regulations for Major Farm Breweries, Cideries, Distilleries, and Wineries**

1. In addition to the farming operation, the following uses are permitted on the premises of any major farm brewery, cidery, distillery or winery:
  - a. Tastings, for free or for a fee.
  - b. Tours.
  - c. Retail and wholesale sales of the products grown or manufactured on the premises. Alcoholic beverages manufactured within thirty miles of the premises may also be sold and tasted on-site provided they comprise 25% or less of the alcoholic beverage selection available for sale.
  - d. Retail sales of beer-, cider-, wine- and alcohol- related merchandise, such as glasses, mugs, and items that promote the product or are directly related to the use of the product. Merchandise unrelated to the products produced on site may be offered for sale provided that the amount offered is clearly subordinate to related merchandise. In general, no more than 25% of merchandise displayed for sale shall be unrelated merchandise.
  - e. Other uses customary and incidental to a farm.
2. All buildings, structures and parking related to the brewery, cidery, distillery, or winery operation shall be located a minimum of 75 feet from all property lines. The Commission may reduce the front yard setback to 50 feet provided it determines such a reduced setback does not impact adjacent residential uses.
3. Unless otherwise restricted by state law, hours open to the public are limited to:
  - a. Sunday, noon to 6 p.m.
  - b. Monday through Wednesday, noon to 8 p.m.
  - c. Thursday through Saturday, noon to 9 p.m.
4. Additional screening may be required for areas used for outdoor tastings or seating in order to reduce disturbances to adjacent residential uses.
5. Areas used for outdoor seating and outdoor tastings shall be located at least 100 feet from all property lines. The Commission may reduce this distance to 75 feet provided it determines that adequate screening exists for a reduced setback to not impact adjacent residential uses.
6. No more than three (3) food trucks are permitted. On parcels at least two (2) times the minimum lot size, the Commission may allow additional food trucks as part of the Special Permit Process. Establishments may permit visitors to bring food or may serve snacks. The preparation and serving of meals is prohibited, other than by food trucks.

February 2, 2024

**TO:** TOLLAND PLANNING AND ZONING COMMISSION

**REPORT ON ZONING REFERRAL Z-2023-176: Proposed zoning amendment regarding Section 16-13 “Farm Brewery, Farm Cidery, Farm Distillery and Farm Winery” to allow the sale of alcoholic beverages manufactured within 30 miles of the premises to be sold on site.**

**COMMISSIONERS:** Receipt is acknowledged of the above-mentioned referral. Notice of this proposal was transmitted to the Policy and Planning Division of the Capitol Region Council of Governments under the provisions of Section 8-3b of the Connecticut General Statutes, as amended.

**COMMENT:** The staff of the Regional Planning Commission of the Capitol Region Council of Governments has reviewed this zoning referral and finds no apparent conflict with regional plans and policies or the concerns of neighboring towns.

The public hearing date has been scheduled for 2/26/2024.

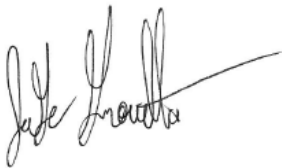
In accordance with our procedures this letter will constitute final CRCOG action on this referral. Questions concerning this referral should be directed to Jacob Knowlton.

**DISTRIBUTION:** Planner: Ellington, Vernon, Coventry, Willington

Respectfully submitted,

Jennifer Bartiss-Earley, Chairman  
Regional Planning Commission

William Rice, Vice Chairman  
Regional Planning Commission



Jacob Knowlton  
Community Development Planner



### Planning and Zoning Two Month Look Ahead

Meeting Date	Upcoming Items	
Monday, March 11, 2024	Affordable Housing Discussion	
Monday, March 25, 2024	Affordable Housing Discussion	
Monday, April 8, 2024	Affordable Housing Discussion	
Monday, April 22, 2024	Affordable Housing Discussion	

**KEY**

- TO BE RECEIVED
- HEARINGS
- NEW/OLD BUSINESS
- OTHER

**Future Items:**

February 12, 2024

Tolland Planning & Zoning Commission

All three homeowners residing on the unpaved portion of Charter Road are hereby petitioning the town of Tolland to upgrade Charter Road to pavement.

Alan Luce  
42 Charter Road, Tolland  
s.luce03@comcast.net

Linda A. Converse  
110 Charter Rd.  
Tolland, CT 06084  
Transitionsalon12@ATT.net

Shui Shui  
35 Charter Road, Tolland, CT  
sherishaw15@yahoo.com

Cc: Tolland Town Manager

**PLANNING & ZONING COMMISSION  
TOLLAND, CONNECTICUT  
REGULAR MEETING MINUTES OF FEBRUARY 12, 2024**

**MEMBERS PRESENT:** Andy Powell, Chair  
Marilee Beebe, Vice Chair  
Joe Matteis  
Erin Stavens  
Amanda Hickey (alternate)  
Brian Mead (alternate)

**OTHERS PRESENT:** David Corcoran, Director of Planning & Development  
Chris Moran, Town Council Liaison  
State Senator Jeff Gordon  
State Representative Tim Ackert  
Public

1. **Call to Order:** Andy Powell, Chair, called the meeting to order at 7:00 p.m. in Council Chambers.
2. **Pledge of Allegiance:** Recited.
3. **Seating of Alternates:** Amanda Hickey was seated.
4. **Additions to Agenda:** None.
5. **Public Comment:** None.
6. **Public Hearing(s):** None.
7. **Old Business:** None.
8. **New Business**

8.1 State Senator Jeff Gordon and State Representative Tim Ackert conversation with PZC – Mr. Powell introduced State Senator Jeff Gordon of the 35<sup>th</sup> District and Representative Tim Ackert of the 8<sup>th</sup> District when he arrived later. Both represent all or a portion of Tolland at the State level.

Mr. Powell explained that Tolland is trying to get more diverse housing stock and to meet affordable housing goals set by the State, but even as they have some of the most progressive zoning regulations for housing, they continue to be stymied in that area. He noted that the State's "stick" to push towns to having a minimum of 10 percent affordable housing by charging them a fee of 2 mill points if they fall short was egregious and he was glad that it didn't make it through the legislature. He asked what is happening at the State level right now.

Senator Gordon said one of the problems is that there are not too many people in the House or Senate who really understand the issue. He said they review a lot of maps and academic reports, but he knows of only two people who have actually served on a Planning & Zoning Commission.

*February 12, 2024 – Tolland Planning & Zoning Commission*

He is one of them. Senator Gordon has served 16 years on the Woodstock PZC. He said while the stick approach is still out there, he was pleased to hear Governor Lamont saying he wanted to do more in his recent State of the State address. He said they keep focusing on building 8-30g housing, but it is so strict that if you can't meet the criteria, you end up getting nowhere. There is an attitude at the State that it needs to be built and towns are simply standing in the way.

Senator Gordon said the State needs to consider and give credit to towns that are building housing that is truly affordable. He said a lot of housing that is affordable doesn't count with the State, such as accessory dwelling units (ADUs).

He discussed the Asset Limited Income (ALICE) study done by the United Way. The study looks at the challenges for individuals and families that earn above the poverty level but who don't earn enough to make ends meet. Senator Gordon said there are discussions going on with majority leaders in the House and Senate about incentivizing affordable housing and getting the State to give credit to towns for what they are doing in this area.

Mr. Powell said a problem for Tolland is that they don't have excess funds to have their Housing Authority put up an affordable housing development, so they have to find ways to attract developers who will need to be able to make a reasonable profit.

Senator Gordon said he understood. He said in Woodstock, they have wells, septic systems, a lack of necessary infrastructure, no public transportation, a lot of watercourses that require protection by the Inland Wetlands Commission, farmland as well as few local jobs—all of which make it difficult to build affordable housing.

He said what works in cities like Hartford and New Haven doesn't work in smaller, rural towns. In addition, cities get a lot of state and federal money that towns don't, and towns can't do it all on their own. Unless the State can get a partner to help incentivize, it's very difficult to do. Senator Gordon said he is waiting to see what comes out of the Housing Committee as well as what proposals the Governor may have.

Senator Gordon said you can't lump all 169 Connecticut towns together as they are all different. He noted there are even different zoning issues within towns. They have to allow local zoning boards to maintain control. He noted also that if you look at what is truly affordable, towns are actually doing pretty well in providing affordable options.

Mr. Powell said one problem they have is figuring out how to forecast affordability. Interest rates and costs of materials are constantly fluctuating. What is affordable? And how long does it last? How do you help small developers so they can get the loans they need?

Senator Gordon said the State only has so much control, but if they are serious about wanting affordable housing, then they need to help with infrastructure and other related costs. It would be a good return on their investment. He said 8-30g is not working and they need to look at what other states are doing. He discussed some ideas he saw that work in Pennsylvania, noting, however that other states have county governments that play a role.

Representative Ackert said the House has had some talks with Housing Commissioner Bruno and there's been an open discussion on the need to invest beyond Hartford. He said he, himself, grew up in subsidized housing in Norwich and it wasn't an issue. He said they don't want to bully towns but they do want to see a portion of land set aside in subdivisions for affordable housing.

*February 12, 2024 – Tolland Planning & Zoning Commission*

Mr. Powell said the trend has been moving away from homes with one-acre lots as people are looking more for condos and smaller homes or a greater density of smaller houses. Senator Gordon said in Woodstock they expanded on the size allowed for ADUs. He said they don't get credit from the State for that type of housing and they need to recognize that.

Mr. Matteis said the State doesn't recognize ADUs, because they are not deed restricted. At the same time, they can't force people to build what the State wants.

Senator Gordon said 8-30g has to be modernized and updated. He discussed the Fair Share Housing Study whose goal is to assess the need for affordable housing in each of the State's regions and create a method for distributing a fair share of affordable housing units to each municipality. He said there was talk that if they didn't meet certain thresholds, there could be punishment charges on land development. The talk was about fining towns, then giving that money to cities with greater need. He said there was quite a fight behind the scenes and the proposed legislation ended up getting killed.

Representative Ackert provided the example of Bolton, one of the towns he represents. He said they have a very small area with the infrastructure to build affordable housing so it's difficult to get it done. He discussed the efforts and challenges of a local developer in Coventry, Steve Blanchard. Rep. Ackert said all of these towns are trying to figure out what they can do, but they're limited in their abilities. Senator Gordon said he has talked to the Governor's staff and has been told the Governor is realizing they need to take a different approach to get affordable housing. It needs to be more of a partnership.

Mr. Matteis said towns should not be fined for not meeting thresholds, then have the money given to other towns. While he understood that bill was killed, he said Tolland has tried to create a fund where developers can buy out of affordable housing. The money would then go into a fund to be made available to other developers who want to build affordable units in town.

Representative Ackert asked if Tolland gets any communications from the Department of Housing. Mr. Corcoran said nothing substantive. Representative Ackert said if you develop a plan, the State can provide some grant monies as financial offsets. He said they do it a lot in the cities and need to extend it out further to smaller towns.

Mr. Matteis said Steve Williams, a local developer, proposed building a small, affordable housing development but his holdup is getting financing. The numbers don't work if he has to do it all on his own. He said Steve Williams would be a good candidate for this type of financing. Representative Ackert said he's a member of the Homebuilders and Remodelers Association and they haven't been brought into the conversation. Groups like these need to be a part of the solution.

Representative Ackert said they need also to consider that affordable housing needs to be built where there is access to public transportation. Ms. Beebe agreed. She said they need to increase public transportation opportunities. Senator Gordon noted also that regional transportation plans leverage federal money.

Ms. Beebe said they have had developers do multi-family, but it is a very long process to get community wells and other aspects approved by the Department of Energy and Environmental Protection (DEEP). She asked if there has been any talk of streamlining the process. Rep. Ackert

*February 12, 2024 – Tolland Planning & Zoning Commission*

said there has been every year, but there is a shortage of people to do the work. It's a chronic problem. He noted, however, that they are starting to staff up. Senator Gordon said there are ways to streamline things but sometimes the Fair Share Group and DeSegregate CT try to jump over environmental issues. Rep. Ackert said a lot of the work that is required to be done by DEEP could just as easily be handled by local health departments. He said it would be good if the Eastern Highlands Health District had more input.

Ms. Stavens said there have also been no conversations with utility companies about expanding public water and sewer.

Senator Gordon said they need a true partnership between the State and towns as well as federal money. He said they need to get away from the stick approach. If they can leverage the resources to help build affordable housing, it would be a phenomenal return on investment.

Mr. Powell asked that the Senator and Representative communicate the need to use more local or regional sources rather than making them wait on the State—so long as they meet code requirements. Ms. Beebe said it would require new legislation, but it would be good to know if they have an appetite for that.

Mr. Powell thanked both Senator Gordon and Rep. Ackert for meeting with them. Senator Gordon reminded them that they can reach out to him anytime.

- 8.2 8-24 Review – Senior Center Pickleball Court – Mr. Corcoran said the Senior Center is proposing the installation of a pickleball court in a corner of their parking lot. ARPA funds will cover a lot of the cost and they are also getting a private donation. It will be located adjacent to wetlands, but there are no anticipated impacts. It is within the upland review area and the Inland Wetlands Commission will hear it on February 15<sup>th</sup>.

Mr. Matteis asked why it wasn't being built on the grassy area beside the building. Mr. Corcoran said probably because the location they picked is already graded and leveled out. Ms. Beebe asked if the managers of the Senior Center were in favor of the proposal. Mr. Corcoran said they were.

**MOTION:** Erin Stavens/Amanda Hickey to provide a positive 8-24 Review for the proposed pickleball court at the Senior Center. Ms. Hickey, Ms. Stavens, Mr. Matteis, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

- 8.3 **PZC #24-1 – 398 Grant Hill Road** – Special Permit per Section 3-11.C.2 Height Restrictions to build a 45' - 8.1/2' barn for agricultural purposes. Zone: Residential Design District. Applicant: Kenneth Kaplan. *Receive and set the Public Hearing for Monday, February 26, 2024.*

Mr. Corcoran said he notified Coventry because the location is near the town line. He said the applicant wants to build a barn that exceeds the height restriction by about ten feet. He said the applicant has some PA490 Open Space and he says he wants to use the barn for agriculture. He understands he has to demonstrate that it will be used for agriculture.

**MOTION:** Amanda Hickey/Erin Stavens to receive and set the Public Hearing for PZC #24-1 for Monday, February 26, 2024. Mr. Matteis, Ms. Stavens, Ms. Hickey, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

February 12, 2024 – Tolland Planning & Zoning Commission

- 8.4 **PZC #24-2 Zoning Regulation Amendment** – Request to amend Section 16-13 “Farm Brewery, Farm Cidery, Farm Distillery, and Farm Winery” to allow the sale of alcoholic beverages manufactured within 30 miles of the premises to be sold on the site. Applicant: Larry Lemek and RJI Enterprises. *Receive and set the Public Hearing for Monday, February 26, 2024.*

Mr. Corcoran said this is a request from Larry Lemek. The amendment will add that alcoholic beverages manufactured within thirty miles of the premises may also be sold and tasted on-site provided they comprise 25 percent or less of the alcoholic beverage selection available for sale.

**MOTION:** Erin Stavens/Amanda Hickey to receive and set the Public Hearing for PZC #24-2 for Monday, February 26, 2024. Ms. Hickey, Ms. Stavens, Mr. Matteis, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

## 9. **Reports**

- 9.1 Town Council Liaison – Town Council Liaison Chris Moran said Ms. Hickey’s appointment to the PZC is on the agenda for tomorrow’s meeting. He said they held two special meetings last week, one on capital improvements and the other a presentation from public safety. He said this week they will hear a presentation from the Eastern Highland Health District and get a Financial Review. He said the budget is ramping up and noted the Board of Education will be finalizing their budget by Wednesday this week.

- 9.2 Economic Development Liaison – No report.

- 9.3 Capitol Region Council of Governments – Mr. Powell said they still need to have a representative from the PZC, unless they want to rotate attendance. Mr. Corcoran said they do have to name one official person but then can rotate out who attends each meeting. Mr. Powell said he would provide Ms. Hickey with some information about the CRCOG meetings. He may attend the next one himself if they don’t get a volunteer.

- 9.4 Zoning Enforcement Report – Mr. Corcoran said Becker’s Catering, which is located in the same building at Pat’s Power Equipment, bought a food trailer and they want to serve sandwiches that they cook at home and simply pass them out the window. He said they can consider it an accessory use, but they may need to look at changing the definition of restaurants. He noted also that Tri-Town Gymnastics has their permits and should be breaking ground soon. He said the cannabis establishment is also moving forward.

Mr. Matteis asked if there was any confirmation about when the Starbucks will get started. Mr. Corcoran said he’ll reach out to them soon to see where they are at. Mr. Powell asked about the car wash. Mr. Corcoran said they were approved. He said they had a water line situation but they will be running a new line from Merrow Road. That should be moving forward as well.

Ms. Beebe asked about the status of the gas station. Mr. Corcoran said the owners are finishing up work on a property in New Britain and he was told Tolland is next.

- 9.5 Planning Update – Mr. Powell noted they will have the two public hearings for Grant Hill Road and for the Farm Breweries, Cideries, Distilleries and Wineries. They will also be discussing affordable housing again. Mr. Powell asked if they should invite in developers again. Mr. Corcoran said he was open to it. Mr. Matteis suggested reaching out to Steve Blanchard in Coventry to see if he might share what he tried to do there.

10. **Other Business:** None.
11. **Correspondence:** None.
12. **Public Participation:** Mary Garrett of 151 Kozley Road said she has lived in Tolland for over 20 years and understands the infrastructure issues they were discussing with the Senator and State Representative. She thanked the PZC for embracing affordable housing but said they need to create affordable housing that fits their way of life in Tolland.

Ms. Garrett said she is from a builder family and believes in the pride of ownership. She said people love their community, but she heard during the housing discussion, housing being referred to as “things.” She said they are not things but homes, neighborhoods, and whole communities and so she wants it built and placed in a tasteful way. She said one of the reasons her family moved to Tolland was because of the natural aspects of the town. Before that they lived in South Windsor and she said South Windsor found a way to incorporate affordable housing into its town, so there is no reason why Tolland cannot do the same.

Ms. Garrett said few people in town use public transportation. Most have cars. She said she feels housing should be owned not rented. As a black person, she said it wouldn't hurt for Tolland to have a little more diversity and a lot of people who need affordable housing are very well educated but need something more affordable.

Mr. Powell acknowledged that affordable housing isn't just Section 8 housing. It's workforce housing for a lot of different workers.

Ms. Garrett said they also need to find a way to bring back some of their young people who can't afford to live in town. She said they don't want to leave others behind. In the meantime, there are also seniors who want to stay in town but downsize and not have to take care of a big house they no longer need.

13. **Approval of Minutes** – January 22, 2024 Regular Meeting

**MOTION:** Amanda Hickey/Erin Stavens to approve the January 22, 2024 Regular Meeting minutes as written. Mr. Matteis, Ms. Stavens, Ms. Hickey, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

14. **ADJOURNMENT**

**MOTION:** Joe Matteis/Erin Stavens to adjourn the meeting and pay the clerk at 9:10 p.m. Ms. Hickey, Ms. Stavens, Mr. Matteis, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

Respectfully submitted,

Annie Gentile  
Clerk