

Agenda
Tolland Planning & Zoning Commission
21 Tolland Green, Tolland, Connecticut
Monday, December 11, 2023 at 7:00 p.m., 6th floor – Council Chambers

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Seating of Alternate(s)**
4. **Additions to Agenda**
5. **Public Comment** - Any person wishing to ask a question, make a comment or put forward a suggestion for any item or matter other than a public hearing item.
6. **Public Hearing(s)**
 - 6.1. **PZC #23-15 – 131 Merrow Road** –Request for a Special Permit Modification to allow a minor change in the building footprint with a new architectural style and minor site adjustments. Zone: Gateway Design District (GDD) Applicant: Elements Car Wash.
 - 6.2. **PZC #23-16 Zoning Regulation and Map Amendment**- Request to revise Article 11 – Technology Campus Zone and Article 14 – Table of Uses to rename the zone to Tolland Commercial Zone, revise its purpose, and expand the list of allowable uses. Revisions also proposed to Sections 1-2, 8-1, 11A-1 and 19-2.G and the Zoning Map to reflect the new name of the CZ. Applicant: Town of Tolland.
7. **Old Business**
 - 7.1. Possible action on PZC #23-15.
 - 7.2. Possible action on PZC #23-16.
8. **New Business**
 - 8.1. 52 Rhodes Road – Sign Permit.
9. **Reports**
 - 9.1. Town Council Liaison
 - 9.2. Economic Development Liaison
 - 9.3. Capitol Region Council of Governments
 - 9.4. Zoning Enforcement Report
 - 9.5. Planning Update
10. **Other Business**
11. **Correspondence**
12. **Public Participation**
13. **Approval of Minutes** – November 27, 2023 Regular Meeting
14. **Adjournment**

To join the Zoom meeting, either click:

<https://us06web.zoom.us/j/4325402030?pwd=NG43ZHcyOXBQOGJldzVVTmQxNmhZZz09>

One tap mobile:

+13017158592,,4325402030#,,,,*444555#

Or call: 1-646-876-9923 and input:

Meeting ID: 432 540 2030

Passcode: 444555

All public business will be conducted by 11:00 p.m. unless waived by a vote of the Commission.
Any party needing an accommodation contact the Planning & Development Department at (860) 871-3601.
The Town of Tolland is an Affirmative Action/Equal Opportunity Employer.



TOWN of TOLLAND/ 21 Tolland Green, Tolland, Connecticut 06084

MEMO

TO: Planning and Zoning Commission

FROM: David Corcoran, AICP, Director of Planning & Development

DATE: December 5, 2023

RE: PZC #23-15 – 131 Merrow Road –Request for a Special Permit Modification to allow a minor change in the building footprint with a new architectural style and minor site adjustments. Zone: Gateway Design District (GDD) Applicant: Elements Car Wash.

The applicant is proposing a modification to their Special Permit which was initially approved on August 26, 2019. The proposed modification would:

1. Modify the footprint of the building with minimal change in square footage.
2. Change the proposed architectural styling of the building
3. Minor modifications to the sidewalk and entrance driveway to accommodate the new building footprint with no increase in impervious surface.
4. Minor adjustment to the location of the trench drains/drainage.
5. Provide angled parking at the vacuum area to minimize turning movements.
6. Roughly swap the reclamation tanks and geothermal well locations.

The proposed modification to the architectural style of the building appears to be consistent with the design guidelines in the Gateway Design District. The modifications to the location of the drainage features do not appear to be sufficient enough to warrant further Engineering Review.

The initial Special Permit was automatically extended by CGS 8-3c(2), which specifies that “...any special permit or special exception approval made under this section on or after July 1, 2011, but prior to June 10, 2021, that did not expire prior to March 10, 2020, and that specified a deadline by which all work in connection with such approval is required to be completed, shall expire not less than nineteen years after the date of such approval and the commission may grant one or more extensions of time to complete all or part of the work in connection with such special permit or special exception.”

**Legal Notice
Public Hearing**

Tolland Planning & Zoning Commission

The Tolland Planning & Zoning Commission will hold a Public Hearing on Monday, December 11, 2023, commencing at 7:00 p.m., to hear and discuss the following:

1. **PZC #23-15 – 131 Merrow Road** –Request for a Special Permit Modification to allow a minor change in the building footprint with a new architectural style and minor site adjustments. Zone: Gateway Design District (GDD) Applicant: Elements Car Wash.
2. **PZC #23-16 Zoning Regulation and Map Amendment**- Request to revise Article 11 – Technology Campus Zone and Article 14 – Table of Uses to rename the zone to Tolland Commercial Zone, revise its purpose, and expand the list of allowable uses. Revisions also proposed to Sections 1-2, 8-1, 11A-1 and 19-2.G and the Zoning Map to reflect the new name of the TCZ. Applicant: Town of Tolland.

Copies of these applications are on file and available for review in the Planning & Building Department at 21 Tolland Green, Tolland, CT.

To be advertised twice in the Journal Inquirer: Wednesday, November 29, 2023
Thursday, December 7, 2023



**TOWN OF TOLLAND
PLANNING AND ZONING COMMISSION
APPLICATION FOR SITE PLAN OR SPECIAL PERMIT APPROVAL**

PZC # 23-15

What are you applying for? (check one):

Site Plan (new)

Site Plan Modification

Special Permit (new)*

Special Permit Modification*

**Most special permit applications require submittal of a site plan, with no additional fee for site plan required.*

Property Information	
Property Address:	131 Merrow Road
Property Owner:	Marilee, Lucy & Jean Beebe 90 Rhodes Road, Tolland
Zone: <u>GDD</u>	Map/Block/Lot: <u>28/A/001.01</u>

Applicant Information	
Applicant Name:	Elements Car Wash - Valerie Rogers
Mailing Address:	23 Clover Springs Drive, Willington 06279
Phone Number:	860-881-5612
Email Address:	Val@4elementscarwash.com

Applicable Section of the Zoning Regulations which pertains to the proposed activity:
10-3.B (Section 14-2 Table of Uses-Car Wash)

Describe proposed buildings, site work, and use:
A Special Permit was approved on August 26, 2019 (Section 10-3.C.24) to allow a car wash that will be connected to the public sewer and Site Plan dated April 24, 2019 with revisions to July 18, 2019.
At this time the applicant is proposing a Modification to the Approved Special Permit/Site Plan to allow a minor change to the building footprint with a new architectural style and minor site adjustments due to the revised building.

Please submit the following with this form:

1. The fee must be submitted to be considered a complete application.
2. 7 paper copies and a pdf of the full plans, including all items required on the plans pursuant to Zoning Regulations.
3. The check list contained in Section 20-10 of the Zoning Regulations with an explanation of any submittal requirements for which the applicant seeks a waiver.

All of the above statements and the statements contained in any documents and plans submitted herewith are true to the best of my knowledge:

Applicant Signature: *Marilee Beebe* Date: 11/21/23
 Property Owner Signature*: Marilee Beebe Date: 11/21/23
Digitally signed by Marilee Beebe
 DN: cn=Marilee Beebe, c=US,
 email=Beebe.Marilee@gmail.com
 Date: 2023.11.21 08:38:03 -05'00'
 *Or submit signed letter authorizing applicant to submit application on property owner's behalf.

P&Z # _____

OFFICE USE ONLY

Administration	
Town Fee:	\$ 150.00
State DEEP Fee:	\$ 60.00
Engineering Rev Fee:	
Form of Payment:	Check
Date Submitted:	11/21/23
Date of Receipt:	
Legal Notice Dates:	
Date of Decision:	
Legal Notice of Decision:	
Extensions: (if any)	

Stamp:
 RECEIVED
 NOV 21 2023
 BY: *Cme*

Description:

THIS PROPOSAL IS APPROVED BY THE TOLLAND INLAND WETLANDS COMMISSION:

Signature _____

Date of Approval _____

Any work or improvements, in addition to or different from that set forth on these maps, may require review and approval by the Tolland Inland Wetlands Commission.

THIS PROPOSAL IS APPROVED BY THE TOLLAND PLANNING & ZONING COMMISSION:

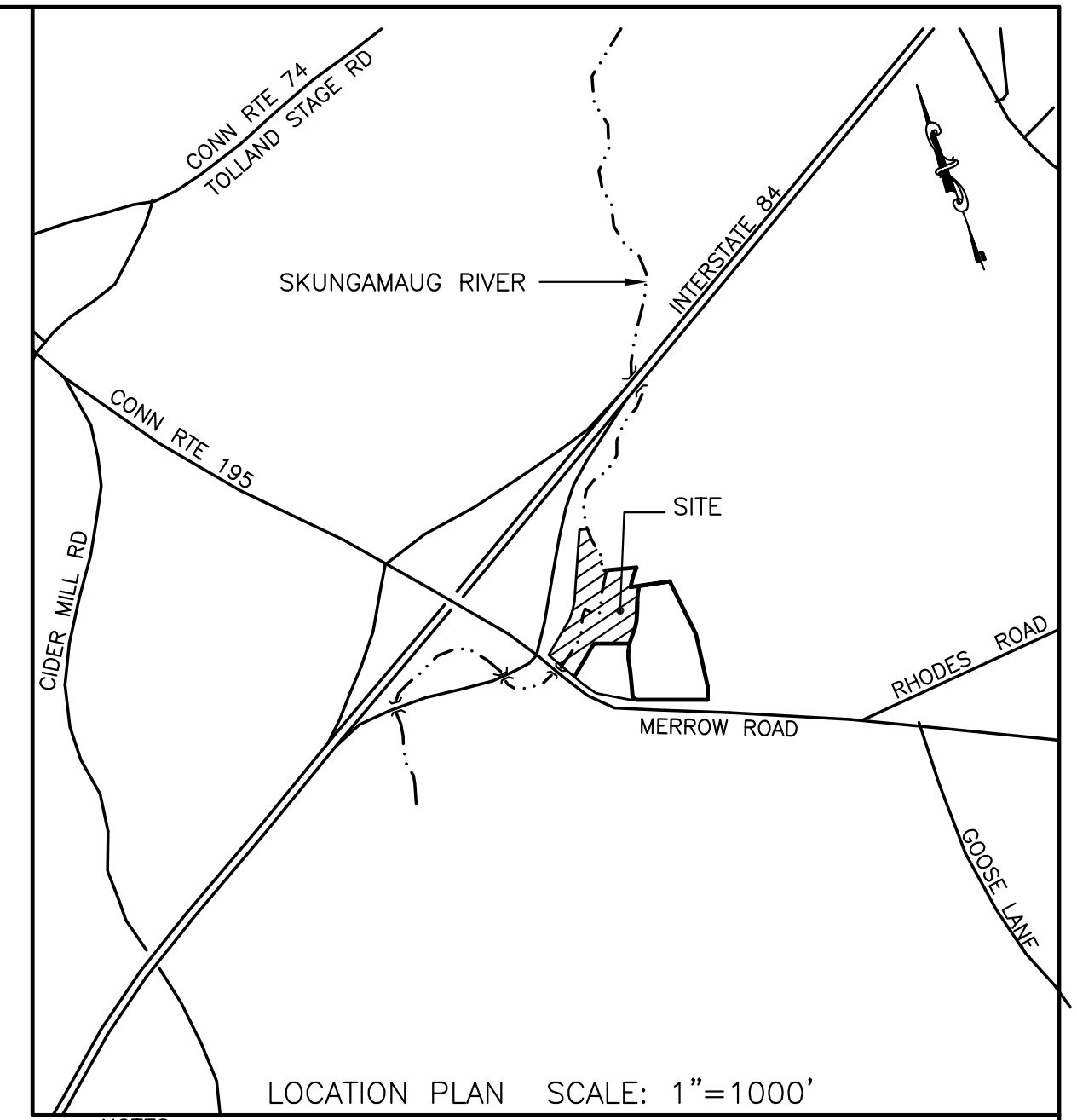
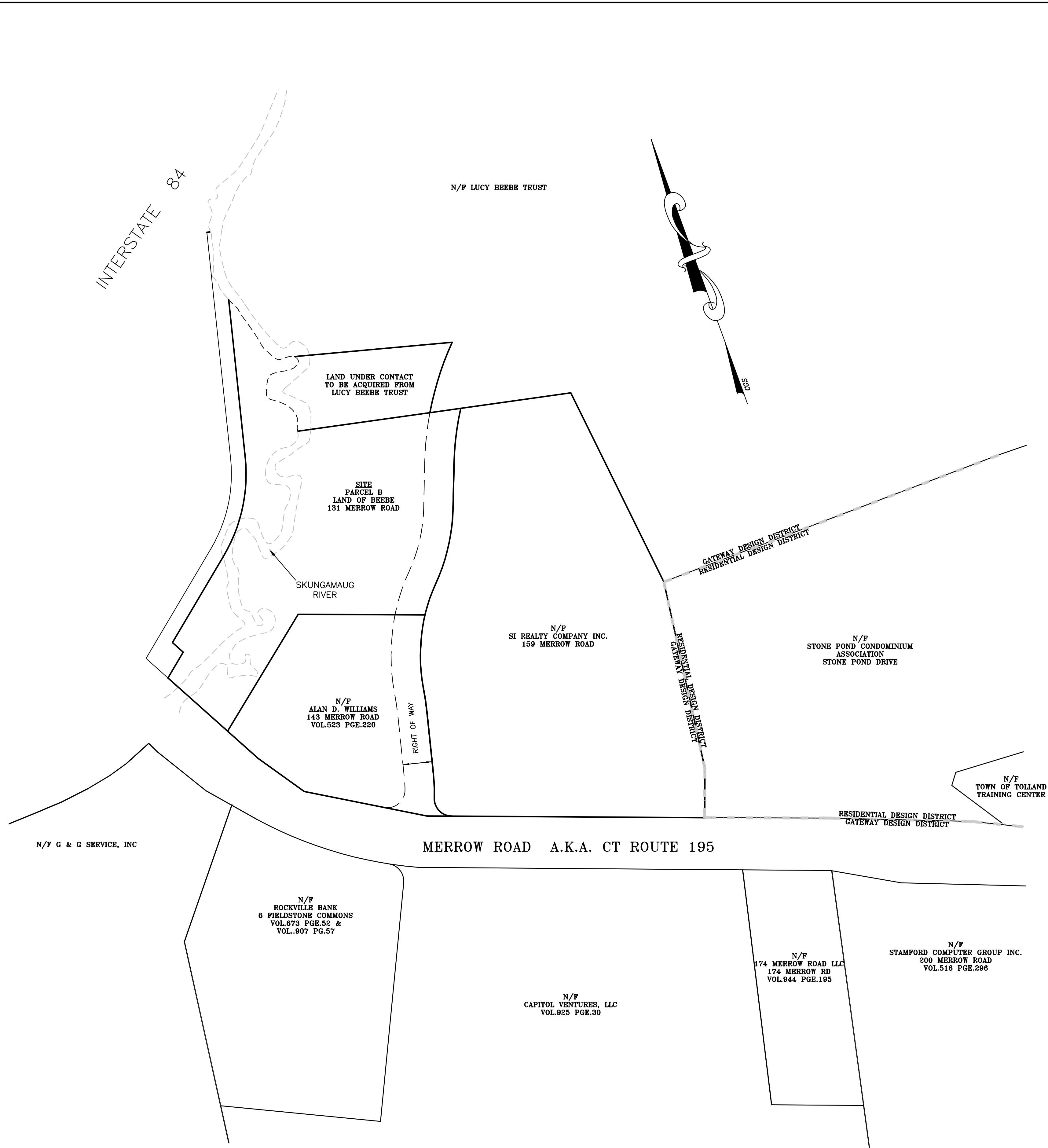
Signature _____

Date of Approval _____

ZONING TABLE:
ZONE: GATEWAY DESIGN DISTRICT (GDD)
Section 10-6:

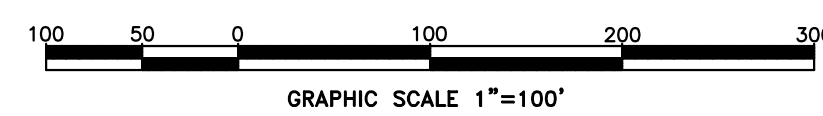
Criteria	Minimum Requirements	Provided
Lot Size	1 Acres	4.45± Acres
Lot Frontage	200 Feet	150.00' on Merrow Road
Front Yard Setback	50'***	51'
Side Yard Setback	50'	226'
Rear Yard Setback	35'**	92'
Lot Coverage	50%	15.8%

*** May be reduced to no less than 25', by four concurring votes of the Commission.
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- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY PROPERTY SURVEY, AND IS A DEFENDANT RESURVEY BASED ON THE PLANS LISTED IN NOTE 3 BELOW, CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-D.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED UPON NAD 83 AND ELEVATIONS DEPICTED ON THESE PLANS ARE BASED UPON THE MAP REFERENCED IN NOTE 3B.
 - MAP REFERENCES:
 - "SUBDIVISION PLAN PREPARED FOR STEPHEN D. WILLIAMS CONN. RTE 195 aka MERROW ROAD TOLLAND, CONNECTICUT" SCALE: 1"=100' DATE 8-19-94 REVISED 9-9-94, 12-1-94, & 1-11-95 BY GARDNER & PETERSON ASSOCIATES.
 - "IMPROVEMENT LOCATION SURVEY SEWER CONSTRUCTION PLANS MERROW ROAD - ROUTE 195 TOLLAND, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES, LLC. DATED 4-1-2010. MAP NO. 10121-B.
 - "TOWN OF TOLLAND PLAN & PROFILE GATEWAY ZONE SEWER EXTENSION PUMP STATION TOLLAND, CONNECTICUT RECORD DRAWING" BY FUSS & O'NEILL, INC. DATED OCTOBER 2004, REVISED THROUGH 08/28/06. MAP NO. CU-12.
 - "RIGHT OF WAY SURVEY TOWN OF TOLLAND MAP SHOWING EASEMENT ACQUIRED FROM MARILEE BEEBE ET AL BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF ROUTE 195 THOMAS A. HARLEY, P.E. CHIEF ENGINEER JANUARY 2015 BUREAU OF ENGINEER AND CONSTRUCTION"
 - "DATA ACCUMULATION PLAN LAND TO BE CONVEYED TO LUCY BEEBE TRUST TOLLAND, CONNECTICUT BY: GARDNER & PETERSON ASSOCIATES, LLC SCALE" 1"=50' DATE 05-06-2018 SHEET 1 OF 1 MAP NO. 8172-RLL"
 - PARCEL IS LOCATED IN THE 'GDD' ZONE (GATEWAY DESIGN DISTRICT).
 - THIS SITE IS NOT LOCATED WITHIN THE SHENIPSIT LAKE WATERSHED.
 - THE SITE IS LOCATED WITHIN THE AQUIFER PROTECTION ZONE PER THE TOWN OF TOLLAND ZONING MAP (EFFECTIVE DECEMBER 1, 2017).
 - OWNER OF RECORD: MARILEE, LUCY & JEAN BEEBE
90 RHODES ROAD
TOLLAND, CT
 - APPLICANT: SCOT & VALERIE ROGERS
23 CLOVER SPRINGS DRIVE
WILLINGTON, CT
 - TOTAL AREA OF PARCEL= 4.45± ACRES.
 - ON SITE WETLANDS DEPICTED HEREON ARE AS DELINEATED BY RICHARD ZULICK, C.S.S.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 - THERE WILL BE 1.6 ACRES OF SITE DISTURBANCE ON-SITE (36% OF SITE).
 - EXISTING IMPERVIOUS SURFACE=NONE
PROPOSED IMPERVIOUS SURFACE=29,700sf or 15.3% OF SITE
 - ALL CHEMICALS USED WITHIN THE CAR WASH TUNNEL WILL BE STORED INSIDE THE BUILDING.

G:\180\81725\81725\81725\SitePlan\11-01-2023\Elements 11-01-23.pdf

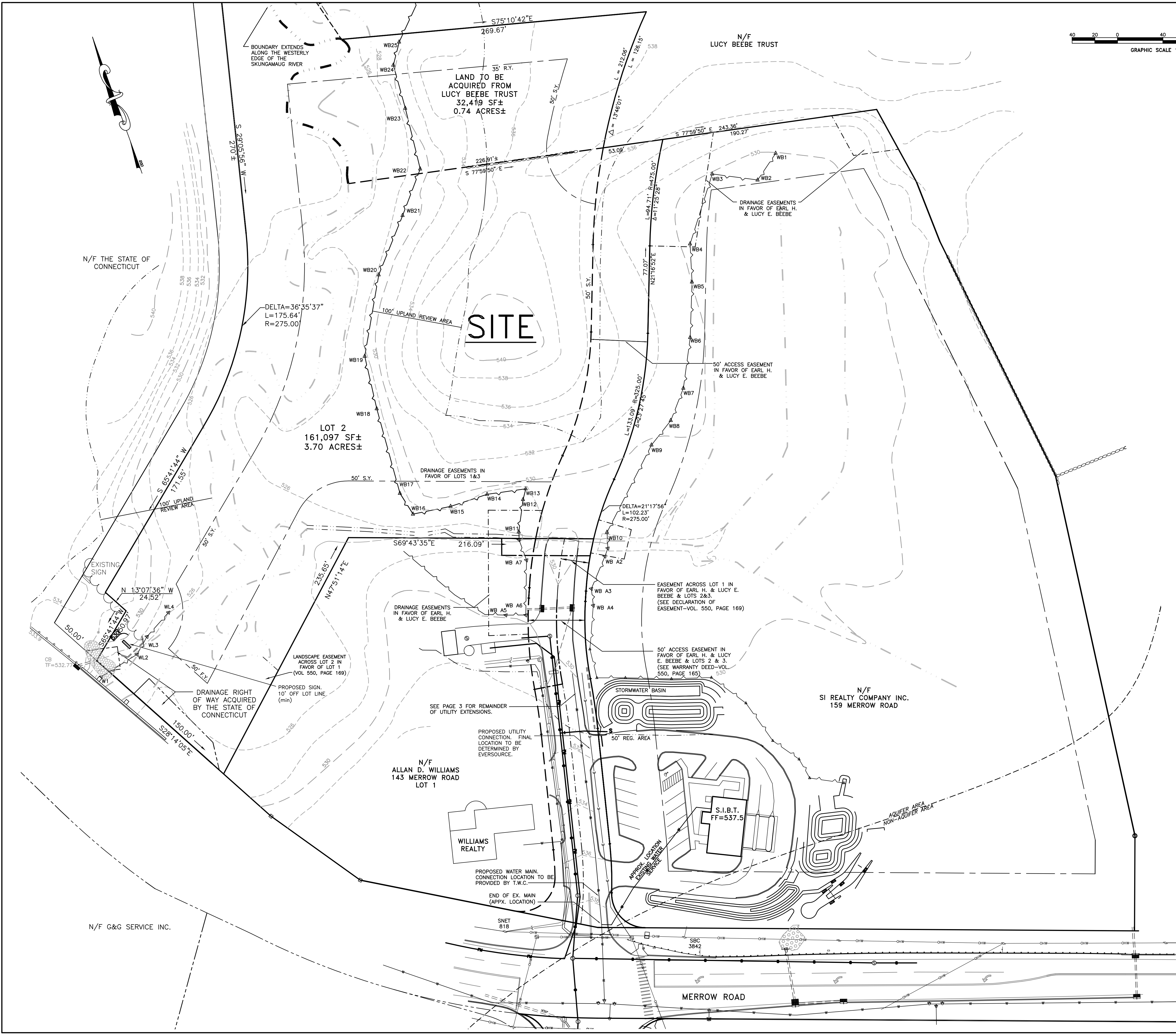


TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Kenneth R. Peterson
KENNETH R. PETERSON L.S. 10839
REGISTRATION NO.

Mark A. Peterson
MARK A. PETERSON P.E. 20905
REGISTRATION NO.

SITE PLAN				
PREPARED FOR SCOT & VALERIE ROGERS				
ELEMENTS CAR WASH				
131 MERROW ROAD				
TOLLAND, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
REVISIONS	SCALE	DATE	SHEET NO.	MAP NO.
04-24-2019	AS SHOWN	04-01-2019	1 OF 5	8172 R
05-09-2019				
05-17-2019 IWC COMMENTS				
07-01-2019				
07-15-2019 STAFF COMMENTS				
07-18-2019				
11-01-2023 BUILDING				
BY				
M.A.P.				



LEGEND

PROPERTY BOUNDARY	---
BUILDING SETBACK	- - - - -
EXISTING EASEMENT	---
EXISTING IRON PIN/PIPE	○
EXISTING CONTOUR	- - - - -
EXISTING ELEVATION	534
SOILS LINE	---
INLAND WETLAND	~~~~~
STONE WALL	○-○-○-○
TEST HOLE	⊕
EXISTING CATCH BASIN	⊕
EXISTING DRAINAGE	---
EXISTING GRAVITY SEWER	⊕
EXISTING SEWER FORCE MAIN	⊕
EXISTING WATER / SHUT-OFF	⊕
EXISTING UNDERGROUND TELECOMM.	---
EXISTING UNDERGROUND ELECTRIC	---
EXISTING OVERHEAD WIRES	---
EXISTING UTILITY POLE	⊕
PROPOSED SILTFENCE	---
PROPOSED CONTOUR	---

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

RICHARD ZULICK C.S.S.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

KENNETH R. PETERSON
L.S. 10839
REGISTRATION NO.

EXISTING CONDITION/BOUNDARY PLAN

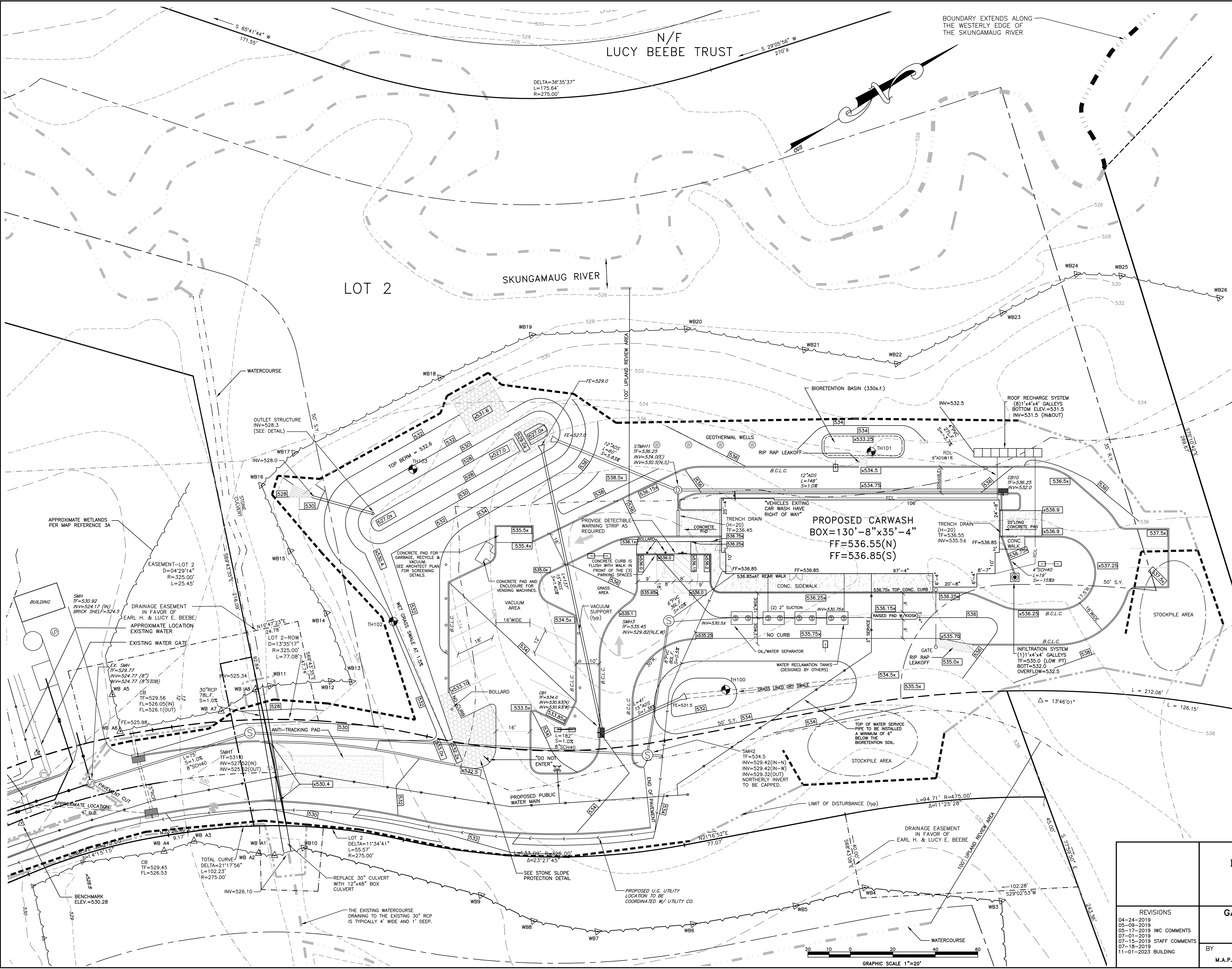
PROPOSED UTILITIES & SIGN
PREPARED FOR SCOT & VALERIE ROGERS
ELEMENTS CAR WASH
131 MERROW ROAD
TOLLAND, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT
PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS

04-24-2019	
05-09-2019	
05-17-2019	IWC COMMENTS
07-01-2019	
07-15-2019	STAFF COMMENTS
07-18-2019	
11-01-2023	BUILDING

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=40'	04-01-2019	2 OF 5	8172 R



LEGEND

PROPERTY BOUNDARY	---
BUILDING SETBACK	---
EXISTING EASEMENT	---
EXISTING IRON PIN/PIPE	○
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING ELEVATION	x529.8
PROPOSED ELEVATION	x533.8
SOILS LINE	---
INLAND WETLAND	---
TREE LINE	---
STONE WALL	---
TEST HOLE	○
EXISTING DRAINAGE	---
EXISTING CATCH BASIN	---
EXISTING GRAVITY SEWER	---
EXISTING SEWER FORCE MAIN	---
EXISTING WATER / SHUT-OFF	---
EXISTING UNDERGROUND ELECTRIC	---
EXISTING UNDERGROUND TELECOM.	---
EXISTING OVERHEAD WIRES	---
EXISTING UTILITY POLE	---
PROPOSED LIGHT	---
PROPOSED LIMIT OF DISTURBANCE	---
PROPOSED SILT FENCE & L.O.D.	---
RDL - ROOF DRAIN LEADER	---
PROPOSED GEOTHERMAL WELL	---
WATERCOURSE	---
PROPOSED LIGHTS	---
PROPOSED UTILITIES	---
PROPOSED WATER	---
PROPOSED CONCRETE PAD	---

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RICHARD ZULICK C.S.S.
 MARK A. PETERSON P.E. 20905
 REGISTRATION NO.

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KENNETH R. PETERSON L.S. 10839
 REGISTRATION NO.

SOILS LEGEND-WEB SOIL SURVEY
 12 Raypole silt loam
 13 Walpole sandy loam
 57C Gloucester gravely sandy loam, 8 to 15 percent slopes

SOIL TESTING RESULTS
 BY: GARDNER & PETERSON ASSOCIATES, LLC
 DATE TESTED: OCTOBER 9, 2018

TH 100
 0-7" TOPSOIL
 7-22" RED BROWN SANDY LOAM
 22-44" GRAY COURSE MEDIUM SAND
 44-63" GRAY DENSE WET SAND WITH LENSES OF COURSE SAND
 DEPTH=75"
 STANDING WATER @ 63"
 NO LEDGE
 MOTTLING @ 44"
 MOST ROOTS TO 20", SOME DEEPER

TH 101
 0-10" TOPSOIL
 10-30" LIGHT BROWN FINE SANDY LOAM (APPEARS SAME AS TH100)
 30-66" GRAY COURSE MEDIUM SAND (APPEARS SAME AS TH100)
 66-74" MOTTLED, GRAY, DAMP COURSE SAND
 DEPTH=84"
 STANDING WATER AT 74"
 NO LEDGE
 MOTTLING @ 66"
 ROOTS TO 30"
 PERM #7 @ 60"-155 ft/day

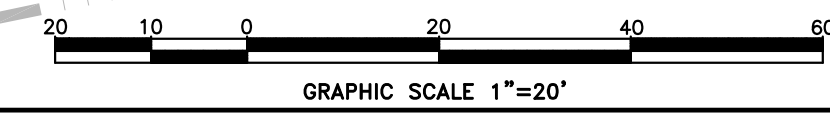
TH 102
 0-9" TOPSOIL
 9-29" BROWN VERY LOAMY SAND
 29-40" GRAY BROWN MEDIUM SAND
 40-52" GRAY SAND, DAMP
 DEPTH=72"
 STANDING WATER AT 52"
 NO LEDGE
 MOTTLING @ 40"
 ROOTS TO 20", SOME TO 30"

TH 103
 0-4" TOPSOIL
 4-24" LIGHT BROWN LOAMY SAND
 24-48" GRAY FINE SAND
 48-50" VERY COMPACT GRAY FINE SAND
 DEPTH=75"
 STANDING WATER AT 52"
 NO LEDGE
 MOTTLING @ 36"
 ROOTS TO 12", SOME TO 36"

SITE PLAN
 PREPARED FOR SCOT & VALERIE ROGERS
ELEMENTS CAR WASH
 131 MERROW ROAD
 TOLLAND, CONNECTICUT
 GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT
 PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS	
04-24-2019	
05-09-2019	
05-17-2019	INC COMMENTS
07-01-2019	
07-15-2019	STAFF COMMENTS
07-18-2019	
11-01-2023	BUILDING

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=20'	04-01-2019	3 OF 5	8172 R



GENERAL EROSION AND SEDIMENT CONTROL NOTES

CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR. SEE MAINTENANCE PLAN DATED 11/28/2012 FOR RECOMMENDED FERTILIZER APPLICATIONS.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ONLY PURSUANT TO RECOMMENDATIONS BASED ON SOIL ANALYSIS.
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.
- SOIL STABILIZATION OUTSIDE THE GROWING SEASON SHALL CONSIST OF THE UTILIZATION OF BE SEED COVERED WITH HAY MULCH AND A JUTE NETTING OR UTILIZING AN EROSION CONTROL BLANKET WITH SEED INCORPORATED WITHIN IT. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN STAFF PRIOR TO EARTHWORK BEING PERFORMED OUTSIDE THE GROWING SEASON TO REVIEW ACCEPTABLE EROSION AND SEDIMENT CONTROLS.

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CLEAR TREES/BRUSH	INSPECT EROSION CONTROLS EVERY TWO WEEKS OR AFTER EVERY STORM, WHICHEVER COMES FIRST REPLACE AS NECESSARY		
INSTALL SILT FENCE AS SHOWN			
REMOVE STUMPS AND PAVEMENT			
REPLACE CULVERT AS WEATHER PERMITS			
INSTALL ANTI TRACKING PAD			
ROUGH GRADE SITE			
EXCAVATE TEMPORARY SEDIMENT BASINS			
CONSTRUCT UTILITIES, DRIVE, ETC.			
CONSTRUCT BUILDING			
FINAL GRADE SITE			
PAVE SITE			
REMOVE SEDIMENT FROM TEMPORARY SEDIMENT BASINS AND FINAL GRADE			
TOPSOIL, SEED AND MULCH DISTURBED AREA	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		

PROJECT NAME: ELEMENTS CAR WASH
 LOCATION: 131 Merrow Road, Tolland, CT
 PROJECT DESCRIPTION: Site Plan for proposed car wash
 PARCEL AREA: 4.45± ACRES
 RESPONSIBLE PERSONNEL: Scot Rogers

DATE OF CONSTRUCTION START: Within permit timeframes
 DATE OF CONSTRUCTION COMPLETION: Within permit timeframes

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

PROJECT NARRATIVE

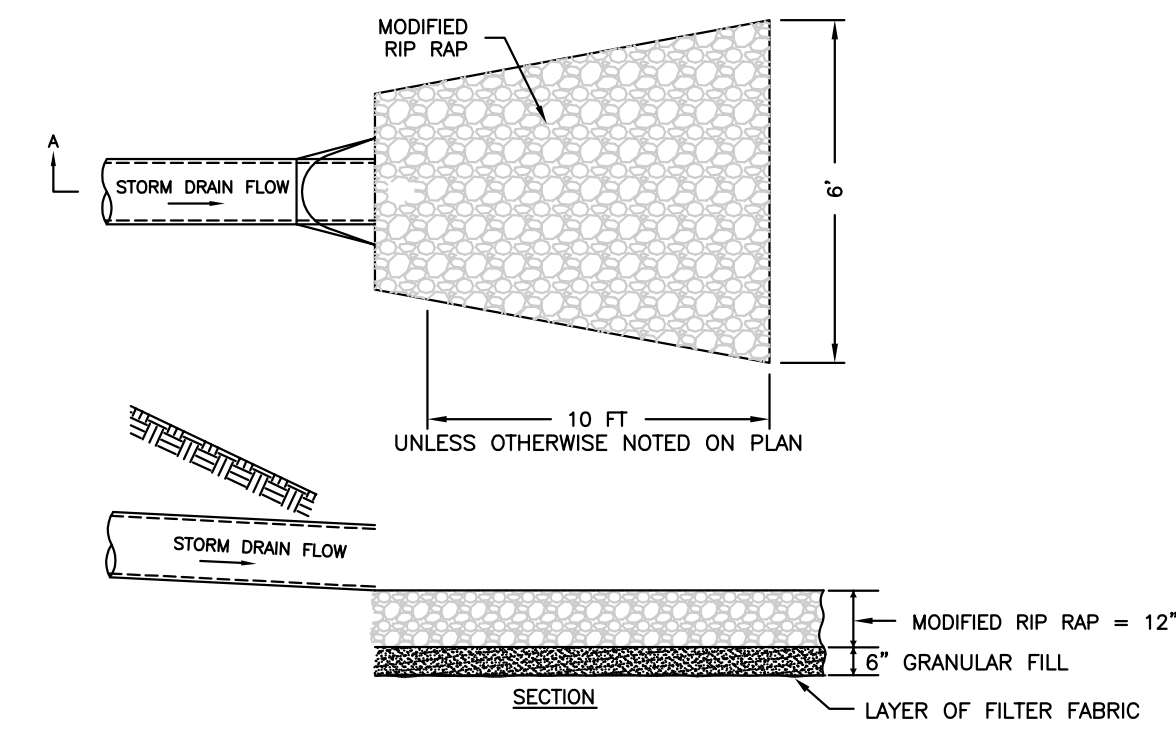
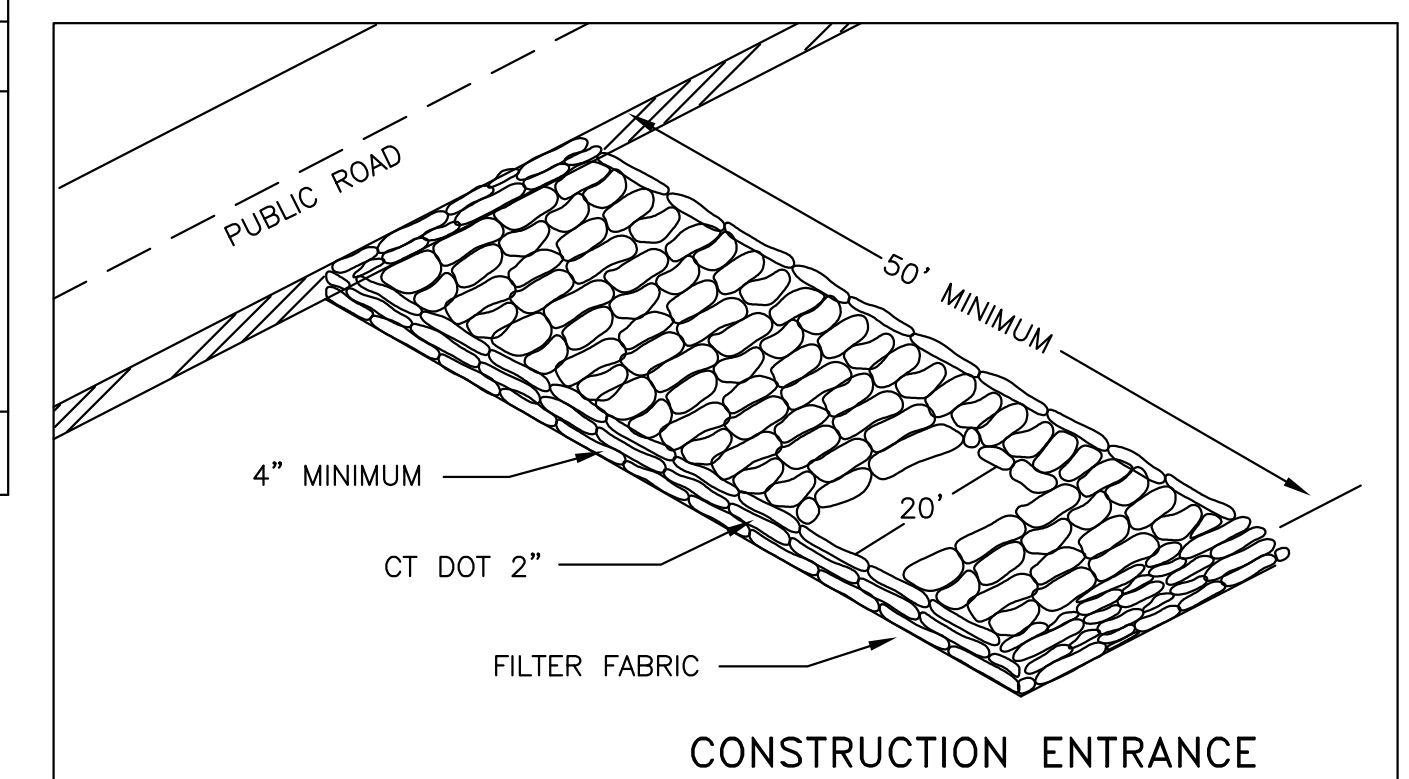
The purpose of this project is to construct a new car wash and associated access and utilities. The proposed building is to be serviced by public sanitary sewer and water and will be accessed from the existing private road which will be extended to the site.

Construction shall commence with the installation of a construction entrance, tree removal, installation of silt fence barrier followed by the removal of the stumps. During rough grading, haybales or silt fence shall be installed as shown at the toe of cut and fill slopes. Installation of drainage structures and piping may proceed as the construction schedule allows.

Completion of the utility installation is to be followed by placing processed gravel, and final grading of the paved areas. All erosion control measures shall be maintained and upgraded as needed until stable vegetative growth is has been established. At all times erosion of exposed and stockpiled materials shall be prevented using measures specified in these plans. Once the site is stabilized, sediment within the basins will be removed and the stormwater wetlands will be seeded/planted as depicted on these plans.

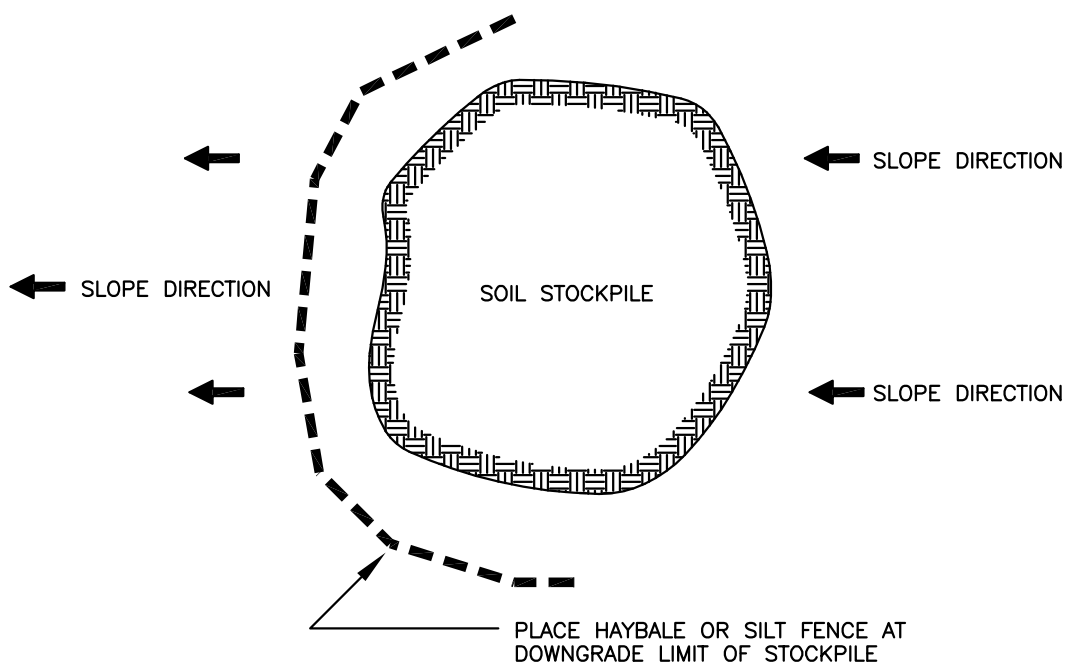
Proposed soil erosion and sediment control measures were designed using criteria set forth by the "Connecticut Guidelines for Soil Erosion and Sediment Control", revised to 2002.

Maintenance Item	Inspection	Maintenance
Road Infiltration System	Visual Inspection Semi-Annually	<ul style="list-style-type: none"> Remove inspection port caps to verify that runoff has infiltrated & leaves/debris are not collecting in system. Check sediment depth and vacuum when 6" of sediment has accumulated.
Grass-Lined Swale Vegetative Waterway	Visual Inspection Semi-Annually Semi-Annual Semi-Annual Semi-Annual	<ul style="list-style-type: none"> Maintain grass at a height of 4 to 6 inches during growing season. Remove debris/sediment from swale. Check for evidence of stormwater runoff overflowing swale. Mow.
Sediment Forebay	Visual Inspection Semi-Annually Semi-Annually Every 5 years	<ul style="list-style-type: none"> Maintain stability of embankment. Mowing. Remove sediment every 5 years or before sediment is within one-foot of the top of the forebay.
Stormwater Basin	Inspect Semi-Annually	<ul style="list-style-type: none"> Remove Invasive Vegetation Inspect Embankments Clean Perforations Monitor Sediment Accumulation Mow Side-slopes
Box Culvert	Quarterly	Remove debris
Car Wash Tunnel	Daily	Inspect conveyor for debris
Reclean Tanks	Monthly	Use measure stick to monitor depth of debris to coordinate pumping. Pump 2-3 times per year.

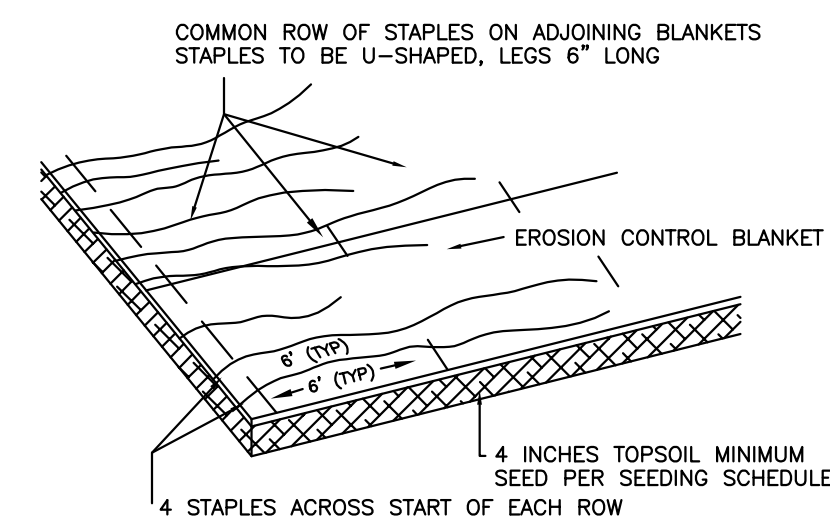


- NOTES:
- WHERE POSSIBLE LEVEL SPREADER TO BE CONSTRUCTED ON UNDISTURBED SOIL.
 - SHAPE THE ENTRANCE TO THE SPREADER IN SUCH A MANNER AS TO ENSURE THAT RUNOFF ENTERS DIRECTLY ONTO THE CHANNEL.

OUTLET PROTECTION DETAIL

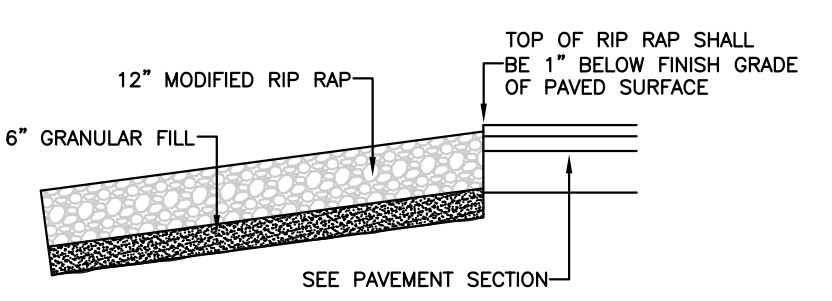


STOCKPILE EROSION PROTECTION DETAIL



- NOTES:
- FOR SLOPES GREATER THAN 3:1, EROSION CONTROL BLANKET TO BE NORTH AMERICAN GREEN S 150 DOUBLE NET STRAW BLANKET OR EQUAL UNLESS OTHERWISE NOTED.
 - INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

EROSION CONTROL BLANKET

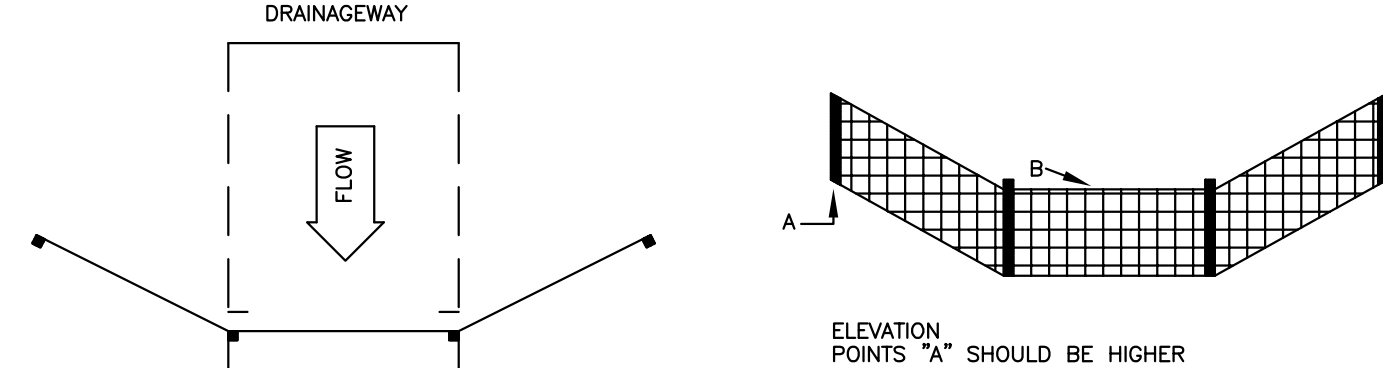
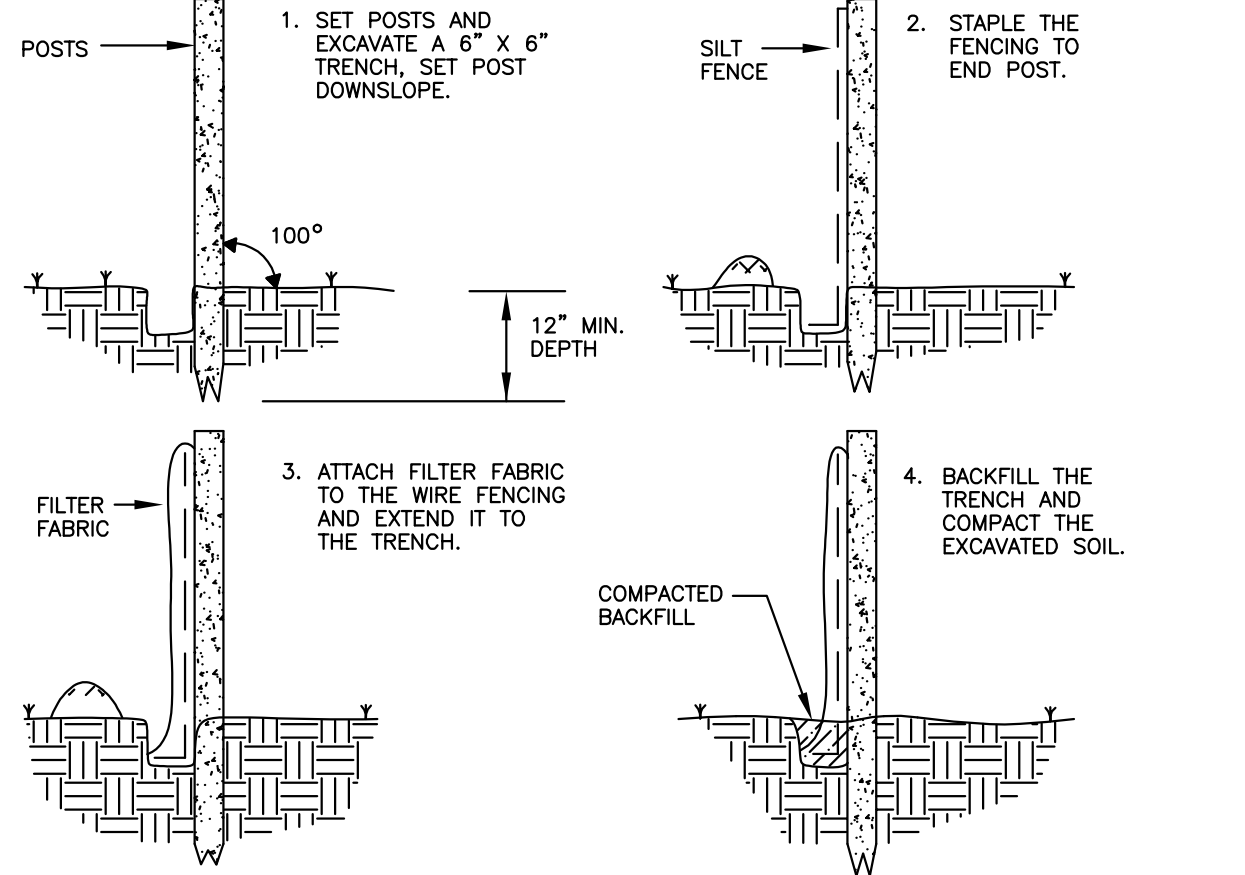


STONE SLOPE PROTECTION

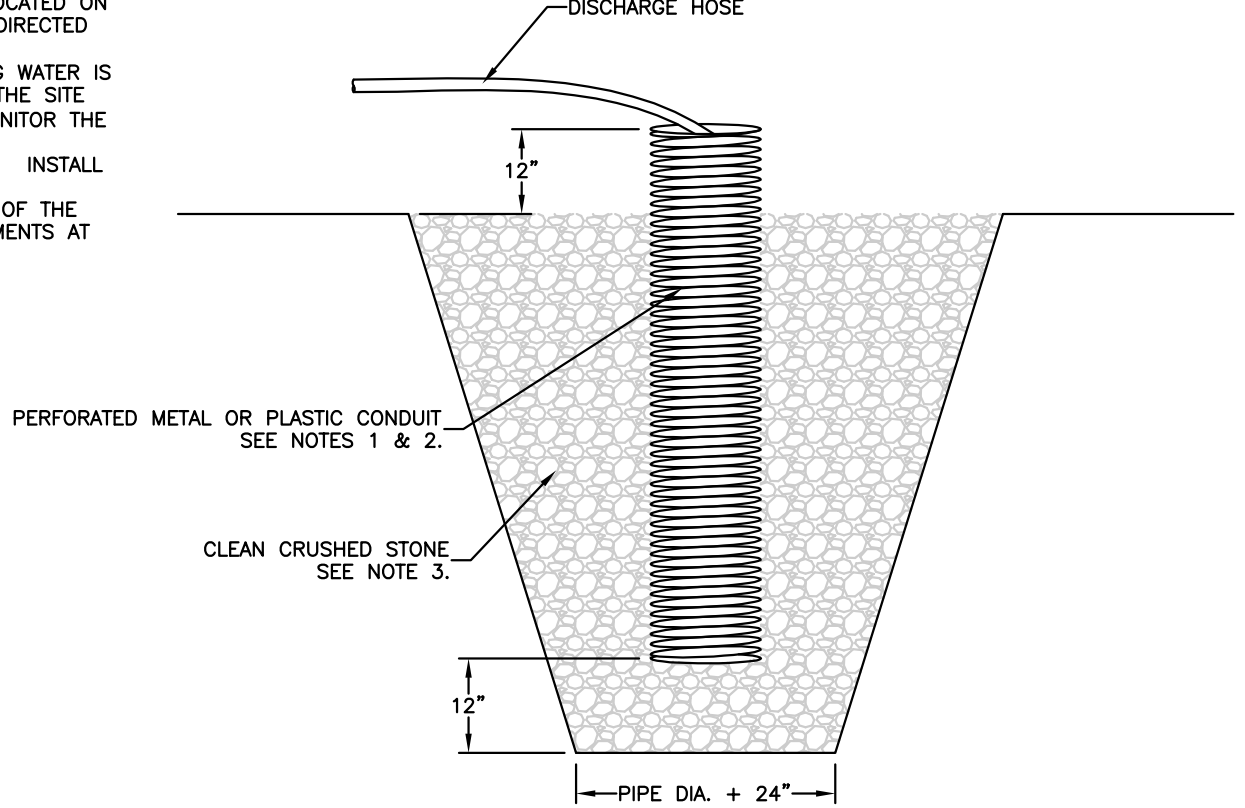
HAY BALE APPLICATIONS

- Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
- All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides rather than along the tops and bottoms of the bales to prevent deterioration of the bindings.
- The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier.
- Each bale shall be securely anchored by at least two stakes or rebars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
- The gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between the bales.
- Inspection shall be frequent and repair or replacement shall be made promptly as needed.

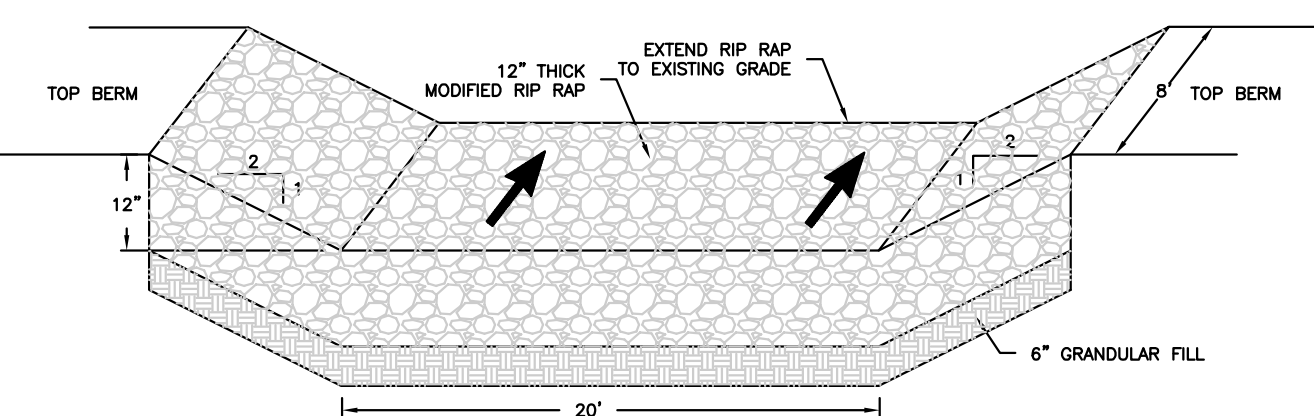
PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER



- NOTES:
- THE STANDPIPE DIAMETER AND NUMBER OF PERFORATIONS SHALL BE COMPATIBLE WITH THE PUMP SIZE BEING USED.
 - PERFORATIONS IN THE STANDPIPE SHALL EITHER BE CIRCULAR OR SLOTS. PERFORATION SIZE SHALL NOT EXCEED 1/8" IN DIAMETER.
 - CRUSHED STONE OR GRAVEL SHALL BE NO SMALLER THAN CT DOT #67 NOR LARGER THAN CT DOT #3 SIZE. CRUSHED STONE SHALL EXTEND A MINIMUM OF 12" BELOW THE BOTTOM OF THE STANDPIPE.
 - THE STANDPIPE SHALL EXTEND A MINIMUM OF 12" ABOVE THE SURROUNDING GROUND.
 - PLACE GEOTEXTILE BETWEEN THE EXISTING SOIL AND CRUSHED STONE.



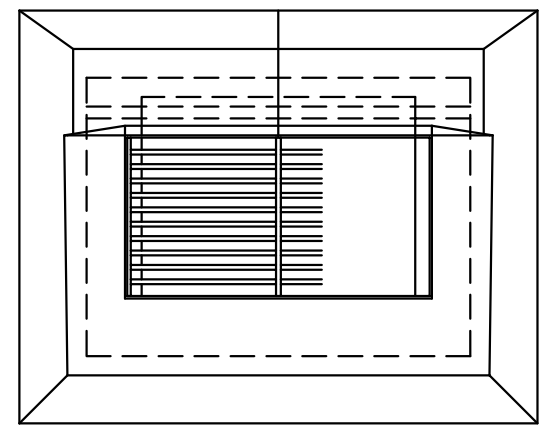
PUMP INTAKE PROTECTION SUMP



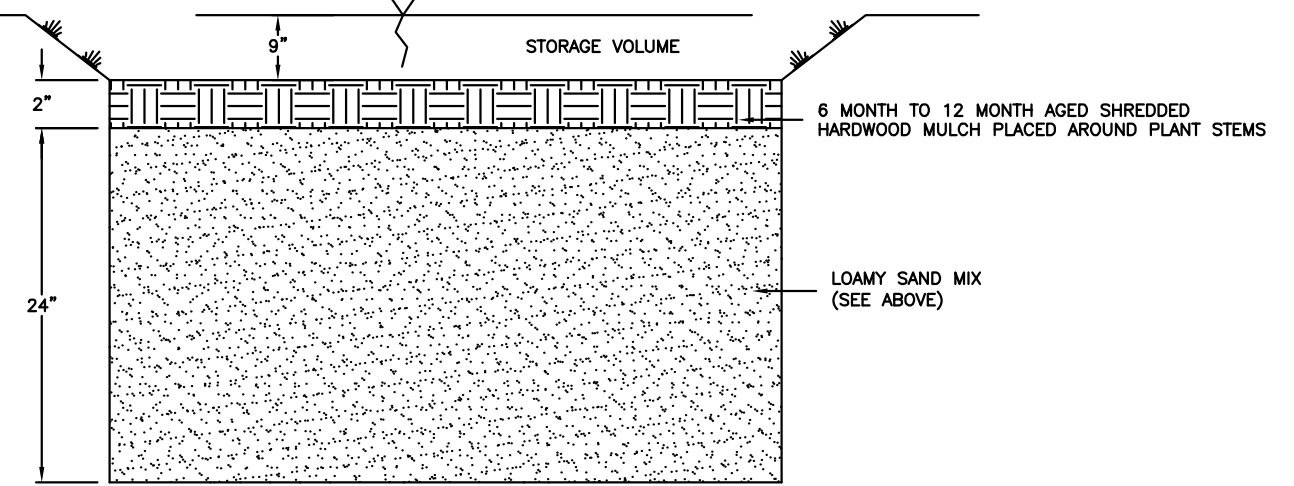
EMERGENCY SPILLWAY

EROSION & SEDIMENT CONTROLS PREPARED FOR SCOT & VALERIE ROGERS		ELEMENTS CAR WASH		131 MERROW ROAD		TOLLAND, CONNECTICUT	
GARDNER & PETERSON ASSOCIATES, LLC		178 HARTFORD TURNPIKE		TOLLAND, CONNECTICUT		PROFESSIONAL ENGINEERS LAND SURVEYORS	
REVISIONS	SCALE	DATE	SHEET NO.	MAP NO.			
04-24-2019	M.A.P.	09-01-2018	4 OF 5	8172 R			
05-09-2019							
05-17-2019 IWC COMMENTS							
07-01-2019							
07-15-2019 STAFF COMMENTS							
07-18-2019							
11-01-2023 BUILDING							

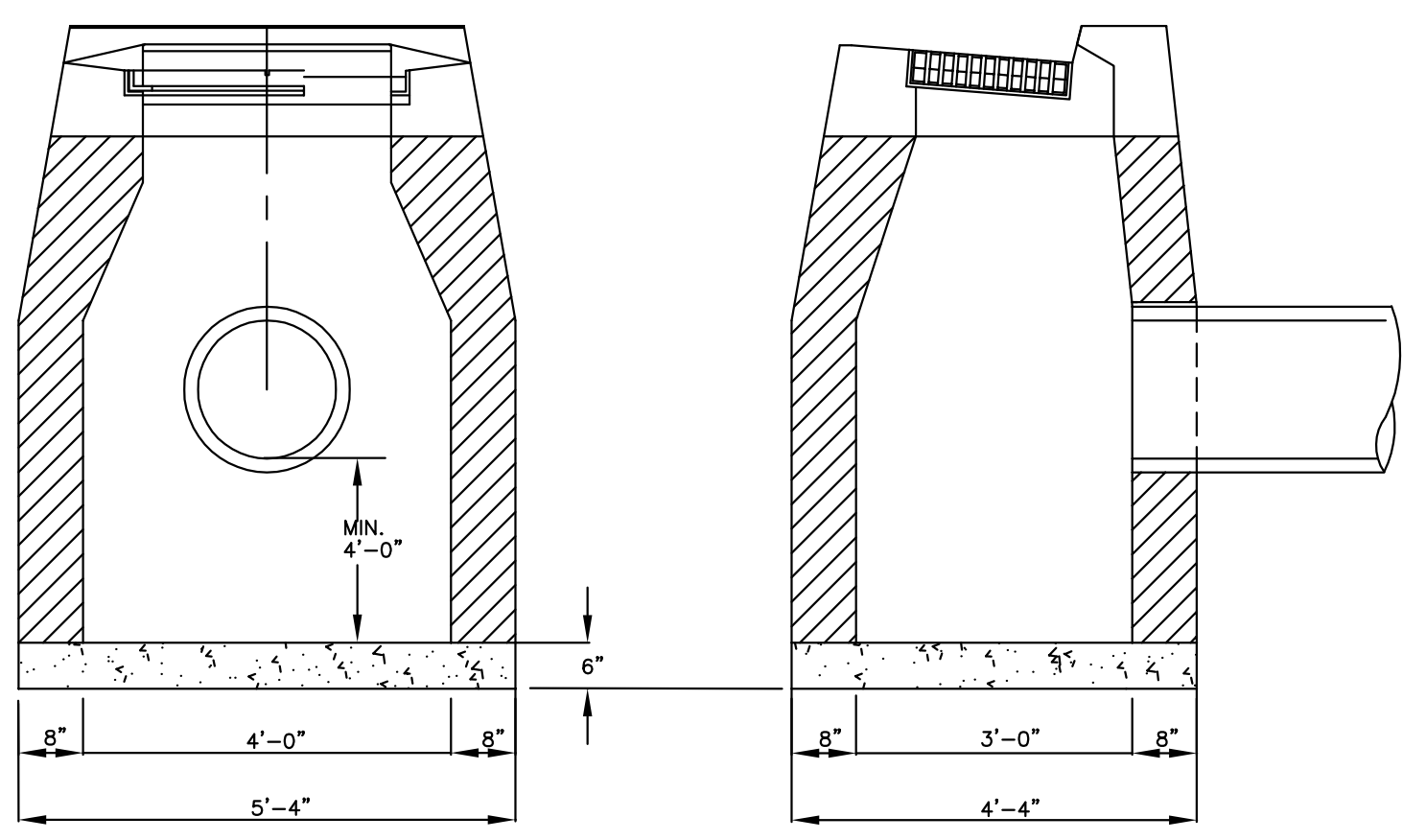
- NOTES:**
- DURING CONSTRUCTION, CARE MUST BE TAKEN NOT TO COMPACT THE UNDERLYING NATURAL SOILS. HEAVY VEHICLES SHALL NOT ENTER THE EXCAVATION OF THE RAIN GARDEN. RAIN GARDEN AREA SHALL BE FENCED OFF TO PREVENT COMPACTION AT THE INITIATION OF SITE CONSTRUCTION. ENGINEER SHALL BE PRESENT TO WITNESS INSTALLATION OF RAIN GARDEN.
 - THE TOP LAYER, ADD FIVE PERCENT AGED (AT LEAST TWO YEARS) COMPOST TO THE LOAMY SAND MIX, FOR A SUITABLE PLANT GROWTH MEDIUM.
 - LOAMY SAND MIX SHALL BE TESTED FOR CONFORMANCE WITH THE FOLLOWING SPECIFICATIONS AND APPROVED BY A PROFESSIONAL ENGINEER BEFORE PLACEMENT.
 WASHED MEDIUM SAND 85-100%
 FINES (SILT & CLAY) 8-12%
 ORGANIC MATTER 3-5%
 - BULK DENSITY OF INSTALLED LOAMY SAND SHALL NOT EXCEED 95 LBS/CUBIC FOOT.
 - LOAMY SAND SHALL BE PLACED BY A BACKHOE EXCAVATOR FROM OUTSIDE THE BASIN.



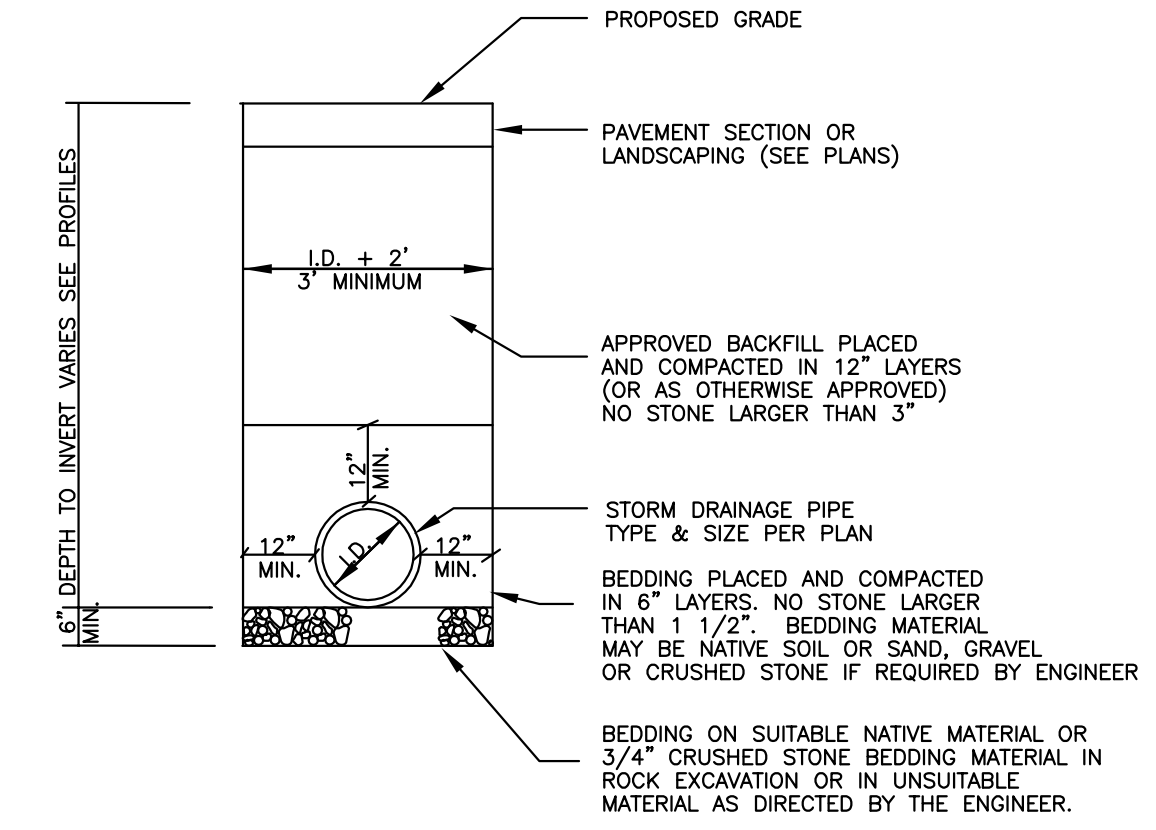
- NOTES:**
- TYPE "C" CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 - STRUCTURE TO BE PRECAST CLASS "A" CONCRETE, OR MASONRY CONCRETE UNITS, WHERE MASONRY CONCRETE UNITS ARE USED CORRELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 - SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB, WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.
 - WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.



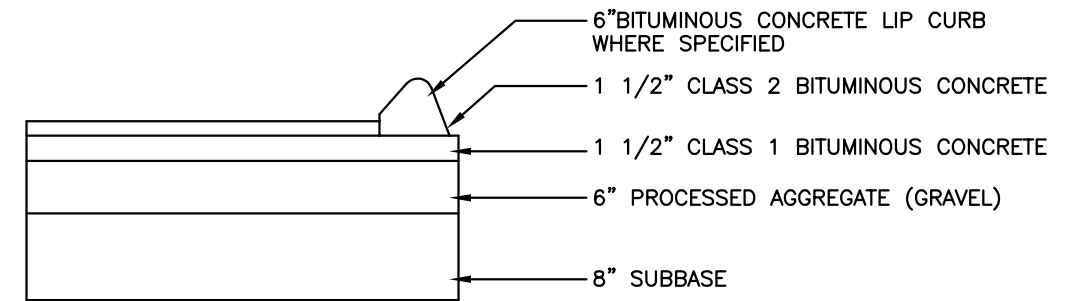
BIORETENTION SECTION
(WEST OF BYPASS EXIT LANE)



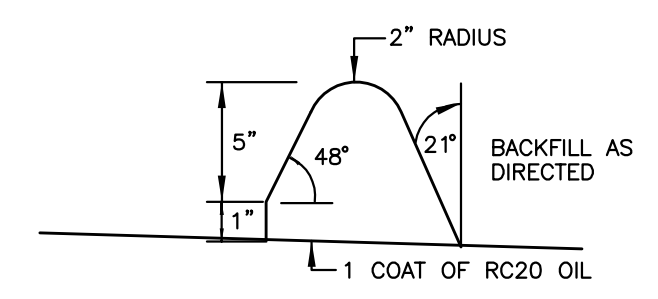
TYPE "C" CATCH BASIN
N.T.S.



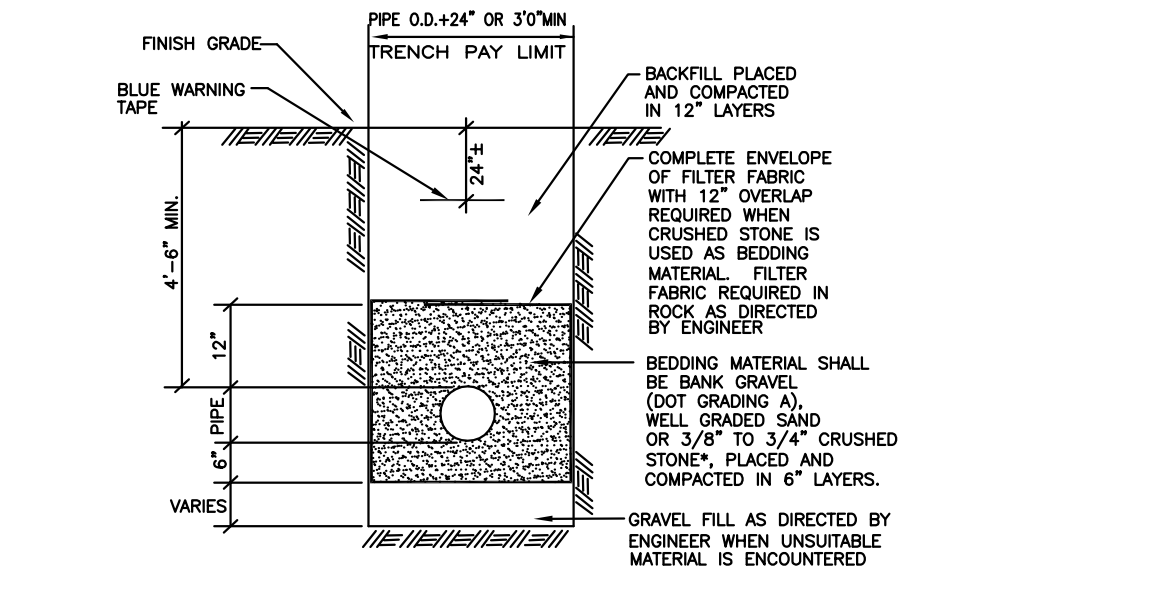
STORM DRAIN TRENCH DETAIL
N.T.S.



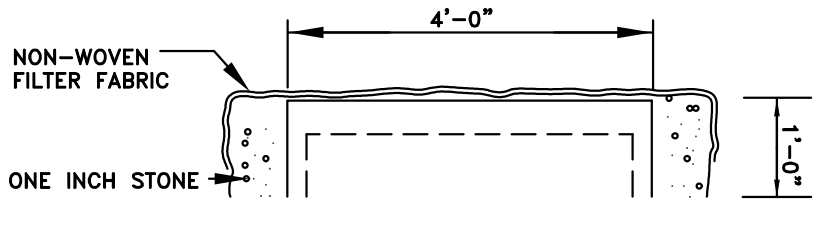
PAVEMENT CROSS SECTION



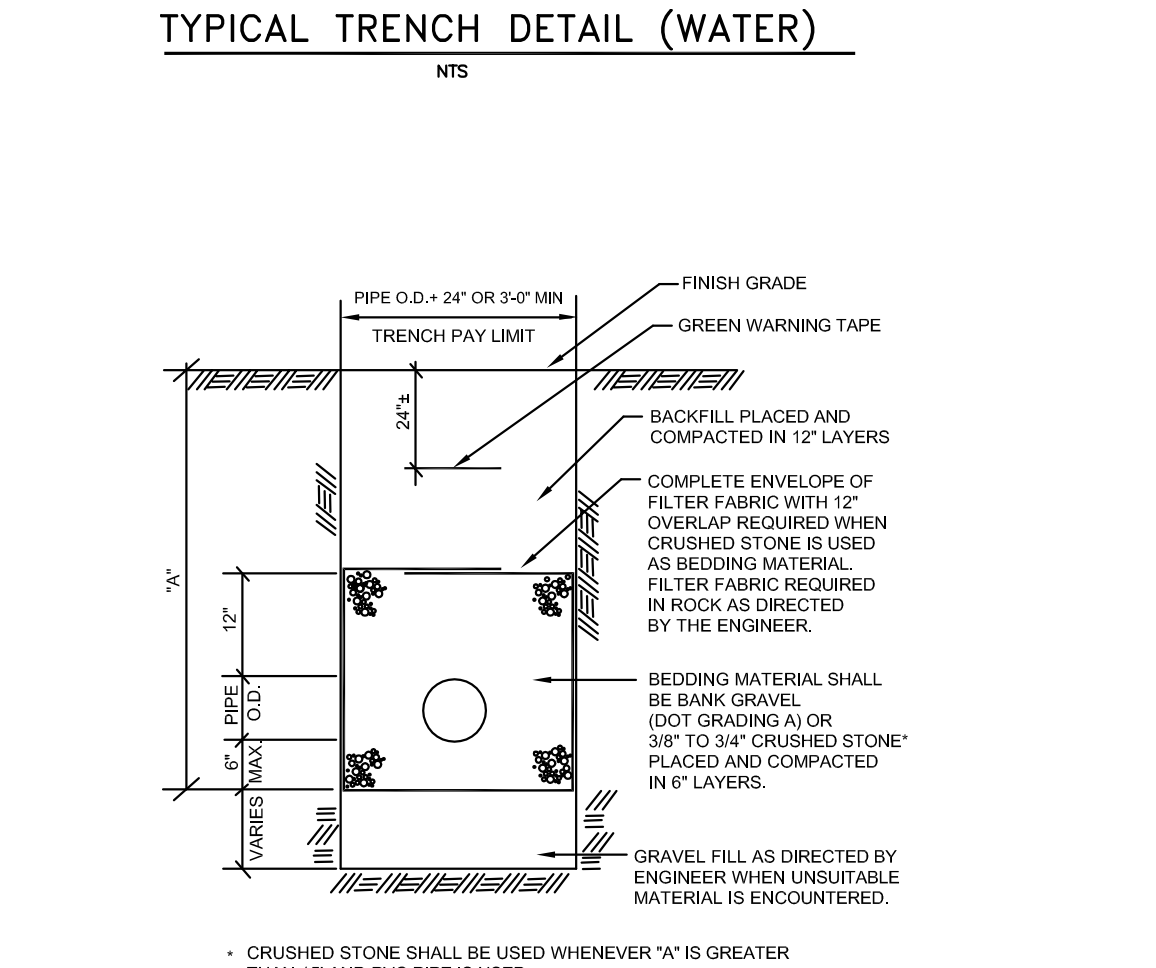
BITUMINOUS CONCRETE LIP CURBING
N.T.S.



TYPICAL TRENCH DETAIL (WATER)
N.T.S.



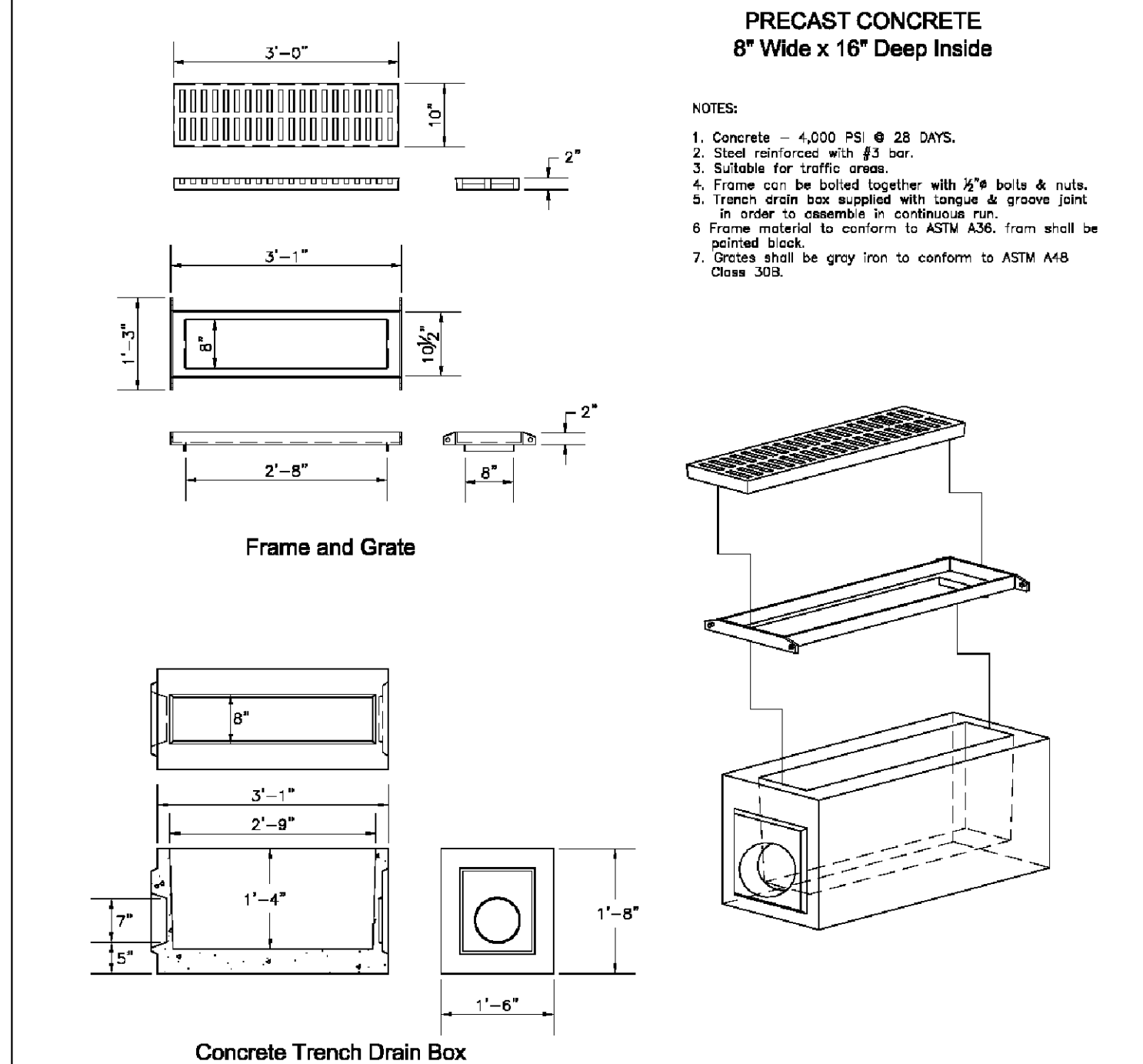
INFILTRATION GALLEY



TYPICAL TRENCH DETAIL (SAN. SEWER)
N.T.S.

- NOTES:**
- SEE TANK CONFIGURATION PLAN FOR LAYOUT/SIZING/PIPING/DETAILS, ETC. PREPARED BY JAMES WATERMAN (NATIONAL CAR WASH SOLUTIONS).
 - CLEANOUT MANHOLES TO GRADE TO BE PROVIDED. TANK COVERS TO BE REMOVED.
 - TANK TO BE MANUFACTURED BY ARROW CONCRETE OR AN EQUIVALENT MANUFACTURER. TANKS AND RISERS TO BE H2O RATED AND CERTIFIED WATER TIGHT. INTERIOR OF TANK SHALL BE COATED WITH EPOXY PETROLEUM RESISTANT SEALANT THAT IS RESISTANT TO GASOLINE, OIL AND SOLVENTS. EXTERIOR OF SEPARATOR AND EXTENSION TO GRADE MANHOLES SHALL BE COATED WITH A WATERPROOF SEALANT. SEAMS MUST BE LOCATED ABOVE STATIC LIQUID LEVEL. SEAMS MUST BE FILLED IN WITH NON-SHRINKING CEMENT OR SIMILAR MATERIAL AND COATED WITH A WATERPROOF SEALANT. VOIDS BETWEEN SEPARATOR WALLS AND INLET AND OUTLET PIPING MUST BE GROUTED WITH NON-SHRINKING CEMENT AND COATED WITH A WATERPROOF SEALANT. CONCRETE COVERS SHALL BE PERMANENTLY REMOVED.
 - MANHOLES SHALL BE:
 LOCATED ABOVE INLET PIPING.
 LOCATED ABOVE OUTLET PIPING.
 SEPARATOR CONTAINS STEEL FRAMES AND MANHOLE COVERS.
 DIAMETER OF MANHOLE IS AT LEAST 18 INCHES.
 - THE VENT LINE SHALL EXTEND AT LEAST 8 FEET ABOVE FINISHED GRADE. DIAMETER OF VENT LINE IS AT LEAST HALF THE SIZE OF THE DIAMETER OF THE OUTLET PIPING.
 - THE TEE SHALL:
 EXTEND UP THE EXTENSION TO GRADE MORE THAN 3 INCHES ABOVE THE STATIC LIQUID LEVEL, BUT NO CLOSER THAN 8 INCHES FROM THE MANHOLE COVER.
 EXTEND 6 INCHES TO 24 INCHES FROM THE BOTTOM OF THE CHAMBER.
 - THE PROOF OF PURCHASE AND MANUFACTURERS LITERATURE ON THE SEPARATOR TANK, INTERIOR AND EXTERIOR COATINGS, NON-SHRINKING CEMENT AND/OR WATERPLUG WITH WATERPROOF SEALANT OBTAINED AND ARE BEING KEPT AT THE REGISTERED FACILITY LOCATION.

RECLAMATION TANKS



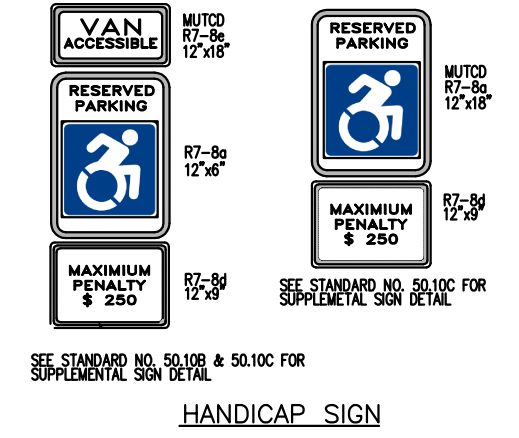
PRECAST CONCRETE 8' Wide x 16' Deep Inlet

- NOTES:**
- Concrete - 4,000 PS @ 28 DAYS.
 - Steel reinforced with #3 bar.
 - Suitable for traffic areas.
 - Frame can be bolted together with 2" bolts & nuts.
 - Trench drain box supplied with tongue & groove joint in order to assemble in continuous run.
 - Frame material to conform to ASTM A36, from shall be galvanized.
 - Grates shall be gray iron to conform to ASTM A48 Class 30B.

UTILITY EXTENSION NOTES:
 Tolland Water will be providing specific information on the location of the existing water main. This plan assumes a worst case scenario which proposes a water main connection at the northerly streetline of Merrow Road.

We anticipate utilities will be extended from the northerly streetline of Merrow Road within the existing Right of Way owned by Alan Williams and through a portion of the R.O.W on 131 Merrow Road as shown on sheet 3.

The contractor shall allow ingress and egress to the Savings Institute Bank and Trust and Alan Williams's office during construction of the utility extension. Any damage to curbs, landscaping, etc shall be replaced and lawn areas shall be topsoiled and seeded. Temporary spoils from trenching can be placed within the easterly travel lane between the Savings Institute Bank and Trust curb cuts with haybales placed as necessary for erosion control. Pavement patch shall be provided as soon as possible.



HANDICAP SIGN

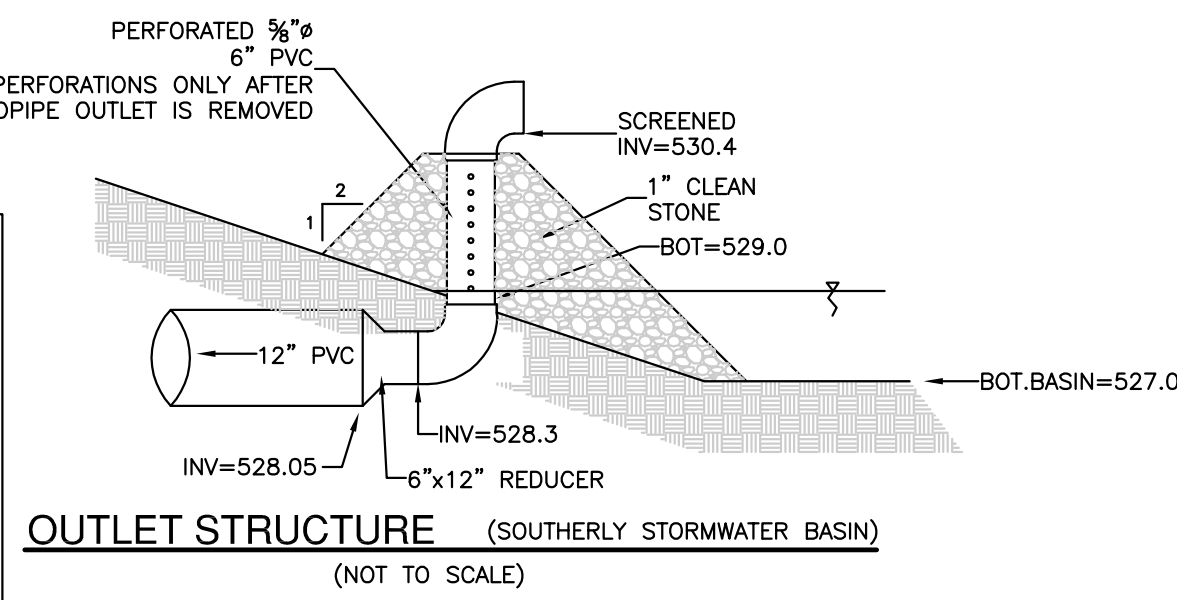
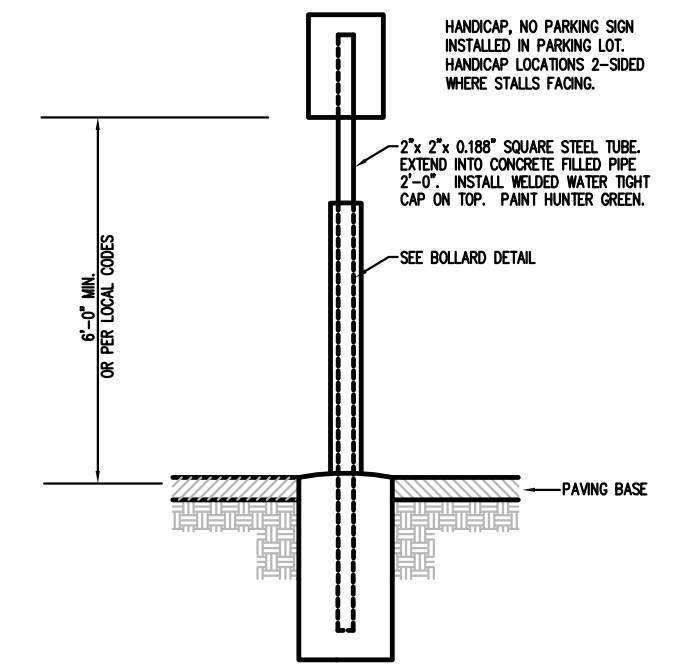
NOTE: ALL STRIPES TO BE 4" PAINTED WHITE



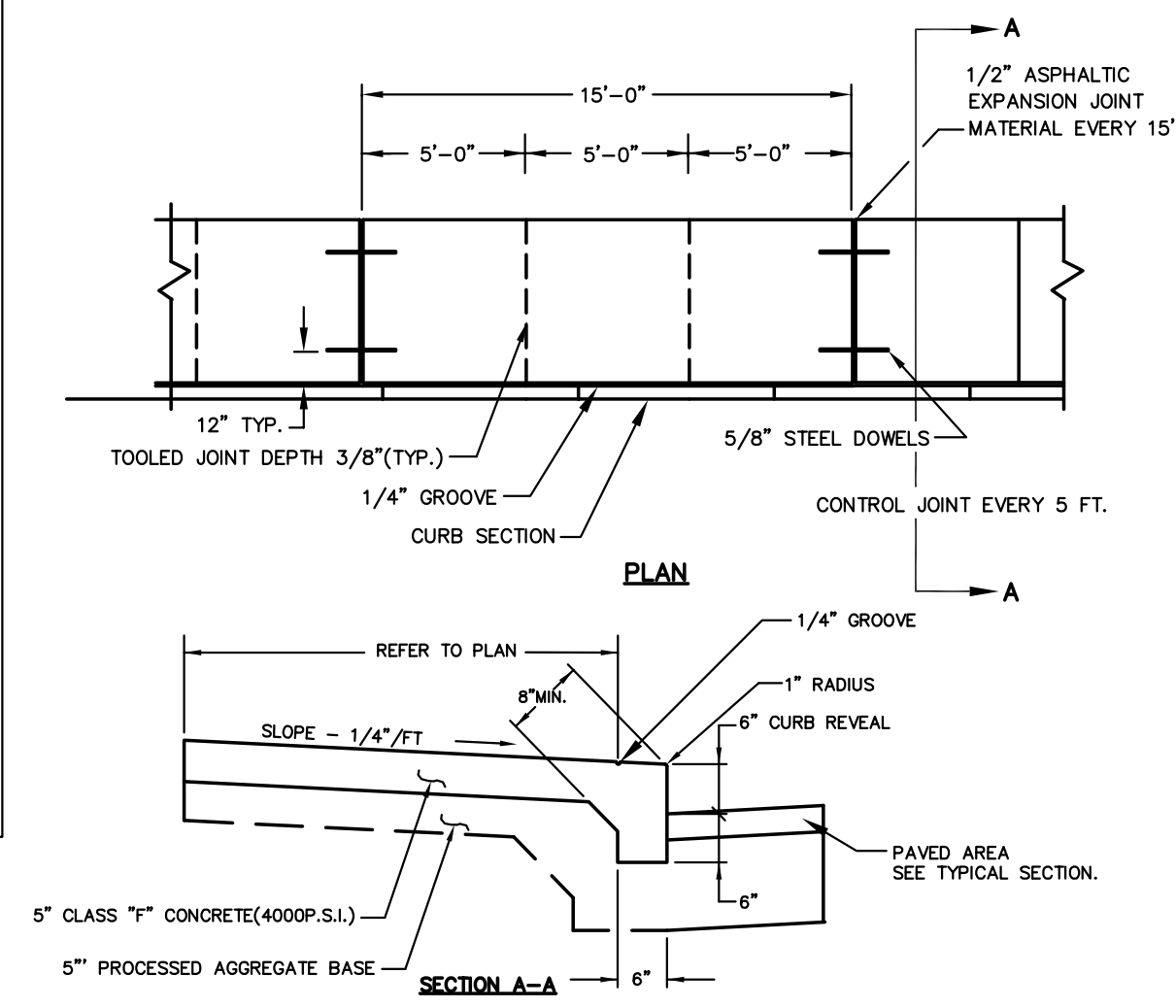
PAINTED HANDICAP SYMBOL

ACCESSIBLE PARKING AND SIGNAGE STANDARDS

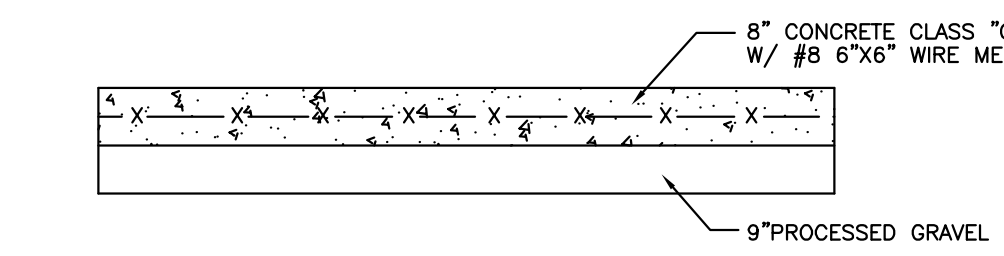
- NOTES:**
- PROVIDE DETECTABLE WARNING FOR CURB RAMPS. DETECTABLE WARNING SHALL CONSIST OF TRUNCATED DOME SURFACE ON RIGID TACTILE PAVING TILES. TILES SHALL BE 2"x3" FOR 4" WIDE RAMPS AND 2"x4" FOR 5" WIDE RAMPS. TILE COLOR SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT HANDICAP SPACING, GRADING AND APPURTENANCE IN ACCORDANCE WITH CURRENT FEDERAL, STATE OR LOCAL CODES. THE CONTRACTOR SHALL CONSULT WITH THE LOCAL BUILDING OFFICIAL TO OBTAIN CURRENT INFORMATION



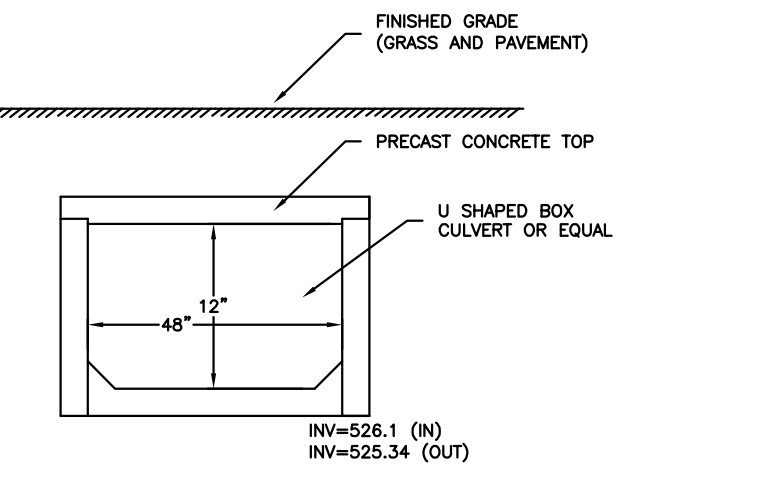
OUTLET STRUCTURE (SOUTHERLY STORMWATER BASIN)
(NOT TO SCALE)



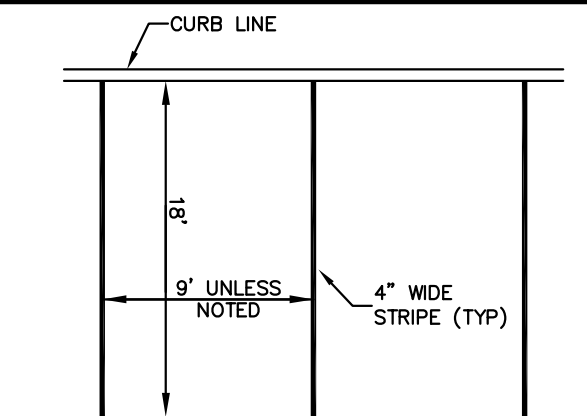
MONOLITHIC SIDEWALK DETAIL



DUMPSTER PAD DETAIL
NOT TO SCALE

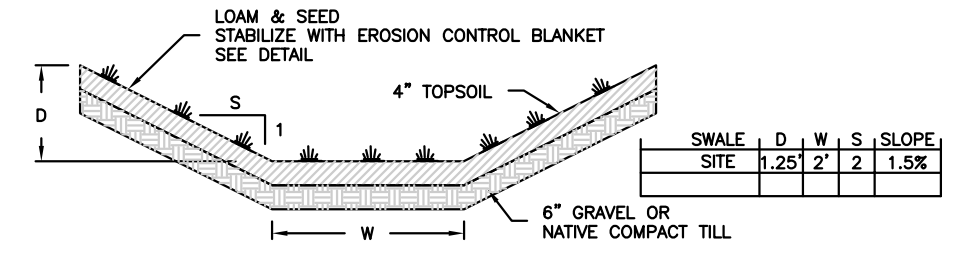


H-20 BOX CULVERT DETAIL



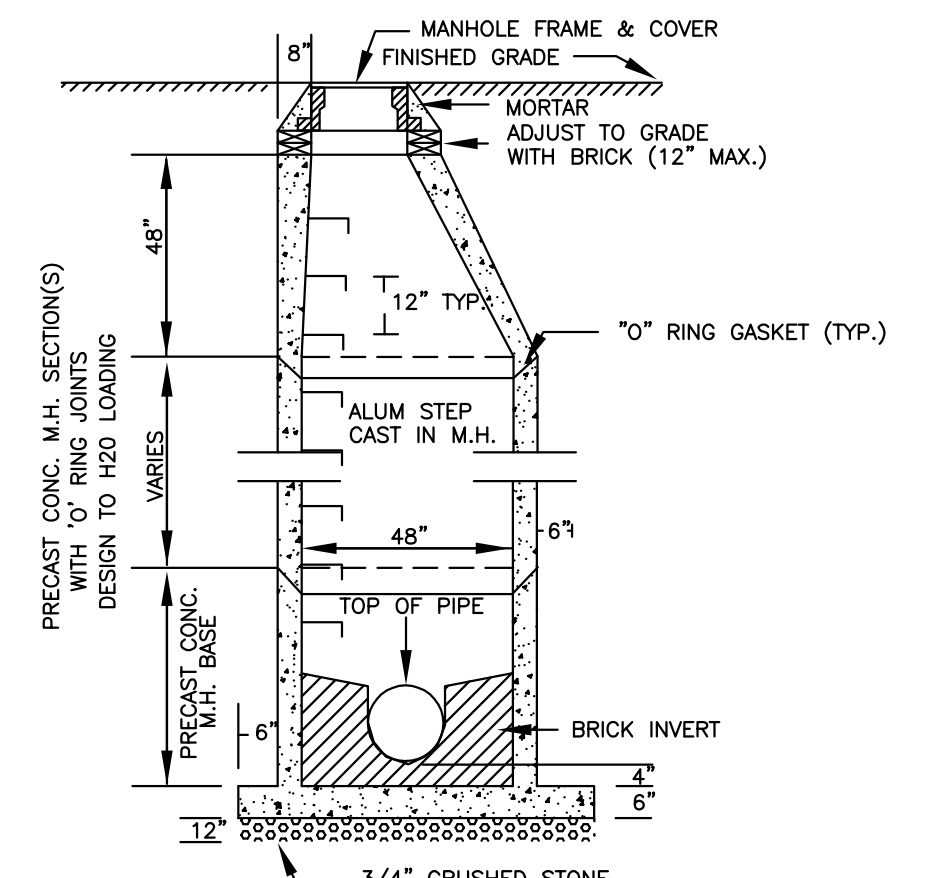
- PAVEMENT MARKING NOTES:**
- All work to conform to Form 816, Section 12.09 and the manufacturer's instructions and recommendations for application.
 - Lines shall be four (4) inches wide, except as noted, and 15 mils thick, colored white, except as noted.
 - Paint shall be either white or tinted ready-mixed paint conforming to AASHTO M70, Type 1.
 - Epoxy Resins shall conform to Form 816 and project requirements for layout of crosswalks. Install glass beads by free fall method.
 - Prior to painting, sweep pavement with power broom supplemented with hand brooms to eliminate loose material and dust.
 - After applying paint, erect suitable barriers to prevent tracking of paint before drying. Retouch and paint all markings which become smeared, discolored, worn, or otherwise marred before final acceptance of the project. Remove any evidence of smearing of paint.

PAINTED PARKING STALL DETAIL



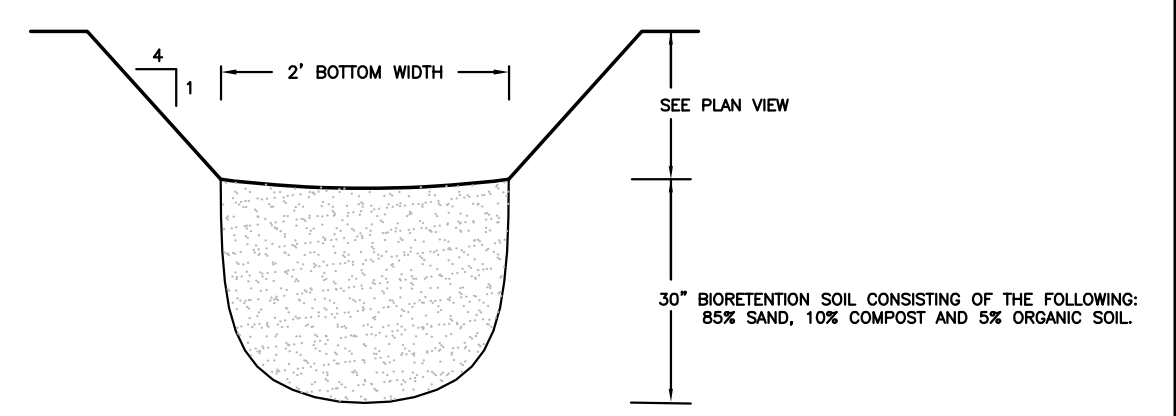
WET GRASS-LINED SWALE

- CONSTRUCTION AND MAINTENANCE REQUIREMENTS:**
- THE DESIGN ENGINEER SHALL OVERSEE THE PREPARATION OF THE AREA AND THE CONSTRUCTION OF A WET SWALE.
 - THE DESIGN ENGINEER SHALL PROVIDE A CERTIFICATION THAT THE SYSTEM WAS DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS FOUND IN THE DESIGN MANUAL AND CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
 - THE WET SWALE SHALL BE INSPECTED ANNUALLY AND AFTER STORMS GREATER THAN 1-YEAR, 24-HOUR STORM EVENT.
 - SEDIMENT SHALL BE REMOVED ACCUMULATION EXCEEDS 25% OF THE WQV STORAGE VALUE.
 - PLANT SHALL BE INSPECTED ANNUALLY FOR 1ST TWO GROWING SEASONS. DEAD OR DYING PLANTS SHALL BE REPLACED AS NECESSARY.



TYPICAL PRECAST MANHOLE DETAIL

NOTE: MANHOLE MFG IN ACCORDANCE WITH A.S.T.M.-C-478



- CONSTRUCTION AND MAINTENANCE REQUIREMENTS:**
- THE AREA OF THE FACILITY SHALL BE FENCED OFF DURING THE CONSTRUCTION PERIOD TO PREVENT DISTURBANCE OF SOILS.
 - THE DESIGN ENGINEER SHALL OVERSEE THE PREPARATION OF THE AREA AND THE INSTALLATION OF THE VARIOUS COMPONENTS OF THE ORGANIC FILTER SYSTEM (GRAVEL STORAGE ZONE, AND MEDIA TREATMENT ZONE, IF INCLUDED IN THE DESIGN).
 - THE DESIGN ENGINEER SHALL PROVIDE A CERTIFICATION THAT THE SYSTEM WAS DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS FOUND IN THE DESIGN MANUAL AND INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
 - SHALL BE INSPECTED ANNUALLY AND AFTER STORMS GREATER THAN 1-YEAR, 24-HOUR STORM EVENT.
 - REMOVAL OF SEDIMENT, WHEN ACCUMULATION EXCEEDS 25% OF THE WQV STORAGE VOLUME.
 - VEGETATION SHALL BE MOWED AS NECESSARY TO MAINTAIN 4-6" HEIGHT. WOODY VEGETATION SHALL BE REMOVED FROM THE DRY SWALE.
 - IF PONDED WATER IS REGULARLY OBSERVED MORE THAN 48 HOURS AFTER A RAINFALL EVENT, THEN THE SURFACE SHALL BE ROTO-TILLED TO A DEPTH OF 12" AND RESEDED.

DRY GRASS-LINED SWALE

CONSTRUCTION DETAILS			
PREPARED FOR SCOT & VALERIE ROGERS			
ELEMENTS CAR WASH			
131 MERROW ROAD			
TOLLAND, CONNECTICUT			
REVISIONS		GARDNER & PETERSON ASSOCIATES, LLC	
04-24-2019		178 HARTFORD TURNPIKE	
05-09-2019		TOLLAND, CONNECTICUT	
05-17-2019 IWC COMMENTS		PROFESSIONAL ENGINEERS LAND SURVEYORS	
07-01-2019		BY	
07-15-2019 STAFF COMMENTS		SCALE	
07-18-2019		DATE	
11-01-2023 BUILDING		04-01-2019	
		SHEET NO.	
		5 OF 5	
		MAP NO.	
		8172 R	

Filename: 131 Merrow Road Site Lighting - Tolland.AGI

Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
[Symbol]	2	SL2	SINGLE	5994	49	0.900	Lithonia DSX0 LED P2 40K T2M MVOLT SPA DBLXD - SSS 15 4C DM19AS DBLXD 15FT POLE
[Symbol]	3	SL5-2	BACK-BACK	6195	49	0.900	Lithonia DSX0 LED P2 40K T5W MVOLT SPA DBLXD - SSS 15 4C DM28AS DBLXD 15FT POLE

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.35	3.6	0.0	N.A.	N.A.
CAR WASH EXIT + PARKING	Illuminance	Fc	1.23	3.6	0.2	6.15	18.00
ENTRY DRIVE + ACCESS	Illuminance	Fc	1.08	3.1	0.2	5.40	15.50
REAR ACCESS ROAD	Illuminance	Fc	1.33	3.0	0.1	13.30	30.00

Design By:
Greg Loda
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email Address : gloda@lightingaffiliates.com

APPROXIMATE LOCATION EXISTING TREES TO REMAIN NEAR WETLANDS

- 26" SWAMP MAPLE
- 30" SWAMP MAPLE
- 25" SWAMP MAPLE
- 20" SWAMP MAPLE
- 28" SWAMP MAPLE
- 28" SWAMP MAPLE
- 24" SWAMP MAPLE
- 20" SWAMP MAPLE
- 30" SWAMP MAPLE
- 28" SWAMP MAPLE
- 16" SWAMP MAPLE
- 32" SWAMP MAPLE
- 14" SWAMP MAPLE
- 22" SWAMP MAPLE
- 28" SWAMP MAPLE
- GROUP OF WHITE BIRCHES (4-6")
- 20" SWAMP MAPLE
- 20" SHAGBARK HICKORY
- 20" SHELLBARK HICKORY
- 28" WHITE OAK
- 15" SWAMP MAPLE
- 12" SWAMP MAPLE
- 40" WHITE PINE
- 16" SWAMP MAPLE
- 16" SWAMP MAPLE
- 16" SHAGBARK HICKORY
- 22" SWAMP MAPLE
- 14" SWAMP MAPLE
- 24" SWAMP MAPLE

APPROXIMATE LOCATION OF SHADE TREES WITHIN 100' UPLAND REVIEW AREA TO BE REMOVED

30. SWAMP MAPLE CLUMP(4) 12",14",12",9"
31. 40" SWAMP MAPLE

THE TREES LISTED ABOVE HAVE WIDE CANOPIES (EXCEPT FOR THE WHITE BIRCH). THE MAJORITY OF THE EXISTING TREES WITHIN THE AREA OF CLEARING CONSIST OF SCRUB BRUSH (AUTUMN OLIVE, MULTIFLORA ROSE) AND SHORT, SMALL WHITE PINES. SOME HARDWOOD EXISTS NEAR THE NORTHERN END OF PROPOSED BUILDING.

PLANTING SCHEDULE

Symbol Code	Name/ Scientific Name	Size	Quantity
[Symbol]	AGER X FREEMENII 'JEFFERSRED'/ AUTUMN BLAZE RED MAPLE	2 1/2" - 3" CAL.	10
[Symbol]	MALUS X ZUMI CALDCARPA/ ZUMI CRABAPPLE	8 - 10"	2
[Symbol]	AMELANCHIER CANADENSIS/ SHADBLOW	8 - 10"	3
[Symbol]	MYRICA PENNSYLVANICUM/ BAYBERRY	2 GAL.	4
[Symbol]	JUNIPERUS CHIN. PFITZ. COMPACTUM/ COMPACT PFITZER JUNIPER	2 GAL.	15
[Symbol]	JUNIPERUS VIRGINIANA/ RED CEDAR	8 - 10"	2
[Symbol]	SPIRAEA BUMALDA 'ANTHONY WATERER'/ SPIREA	2 GAL.	5
[Symbol]	HEMEROCALLIS SPP./ DAYLILLY	2 GAL.	17

Design By:
By: John Alexopoulos
CT License No. 550
16 Storrs Heights Road
Storrs, CT 06268

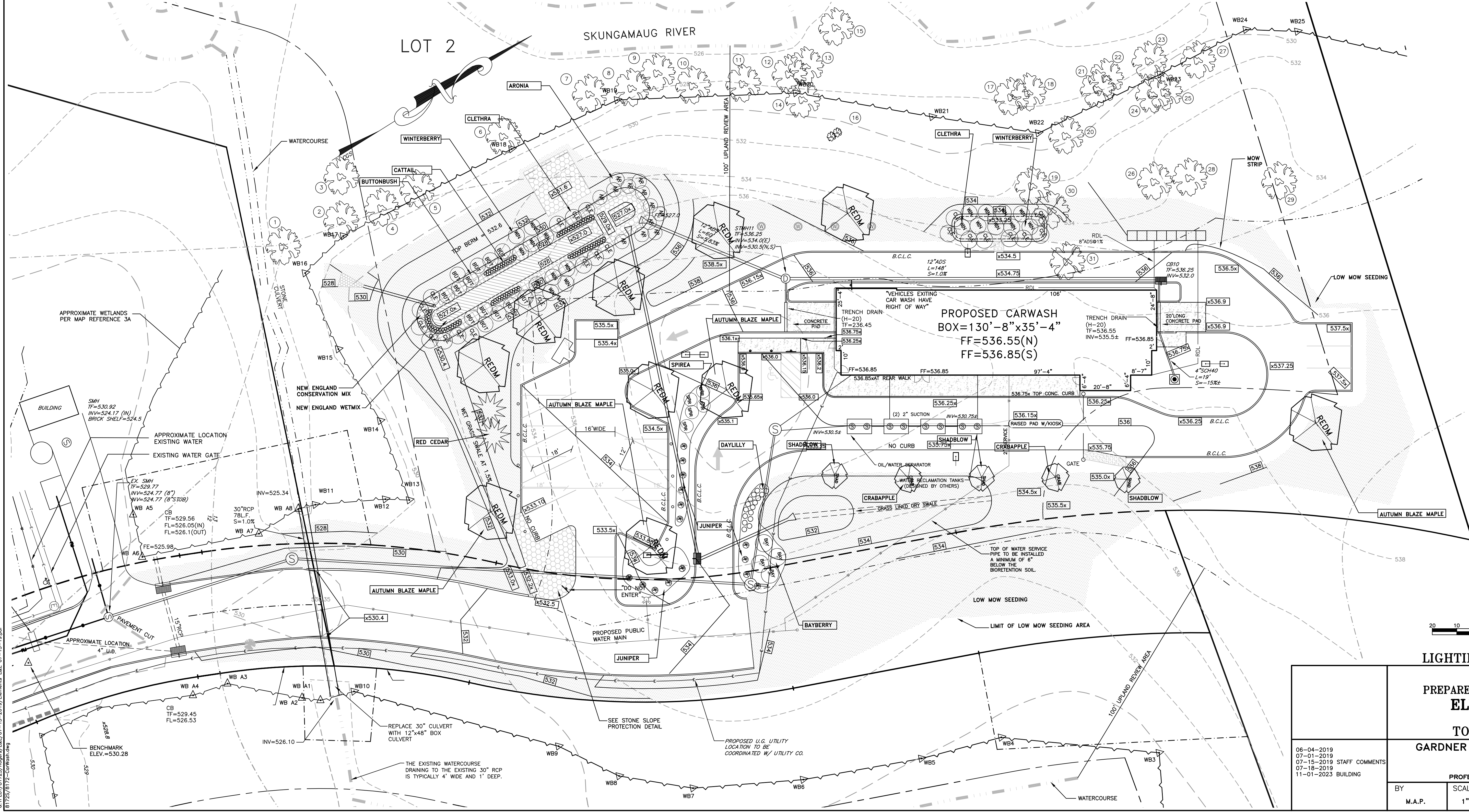
LOW MOW GRASS MIX:
25% Hard Fescue
50% Chewing Fescue
15% Creeping Red Fescue
10% Kentucky Bluegrass

MOW STRIP GRASS MIX:
50% Diva Kentucky Bluegrass
25% Viking H2O Hard Fescue
25% Deschutes Perennial Ryegrass

BOTTOM STORMWATER BASIN:
New England Wetmix
New England Wetland Plants, Inc. Amherst, MA

PLANTING SCHEDULE -- BIORETENTION BASIN & WET BASIN

Symbol Code	Name/ Scientific Name	Quantity
[Symbol]	ARDNIA ARBUTIFOLIA/ ARDNIA	2 GAL.
[Symbol]	CLETHRA ALNIFOLIA/ SUMMERSWEET CLETHRA	2 GAL.
[Symbol]	CEPHALANTHUS OCCIDENTALIS/ BUTTONBUSH	2 GAL.
[Symbol]	ILEX VERTICILLATA/ WINTERBERRY	2 GAL.
[Symbol]	TYPHUS SPP./ CATTAIL	SPACE 1' APART, PLUGS
[Symbol]	PLANT 142	



LEGEND

- PROPERTY BOUNDARY
- BUILDING SETBACK
- EXISTING EASEMENT
- EXISTING IRON PIN/PIPE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING ELEVATION
- PROPOSED ELEVATION
- SOILS LINE
- INLAND WETLAND
- TREE LINE
- STONE WALL
- TEST HOLE
- EXISTING CATCH BASIN
- EXISTING DRAINAGE
- EXISTING GRAVITY SEWER
- EXISTING SEWER FORCE MAIN
- EXISTING WATER / SHUT-OFF
- EXISTING UNDERGROUND TELECOMM.
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE
- PROPOSED LIGHT
- ROL - ROOF DRAIN LEADER
- PROPOSED GEOTHERMAL WELL
- LOW MOW AREA
- EXISTING TREE TO REMAIN

GRAPHIC SCALE 1"=20'

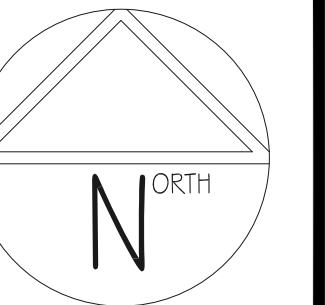
LIGHTING & LANDSCAPING PLAN

SITE PLAN
PREPARED FOR SCOT & VALERIE ROGERS
ELEMENTS CAR WASH
131 MERROW ROAD
TOLLAND, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT
PROFESSIONAL ENGINEERS LAND SURVEYORS

06-04-2019
07-01-2019
07-15-2019 STAFF COMMENTS
07-18-2019
11-01-2023 BUILDING

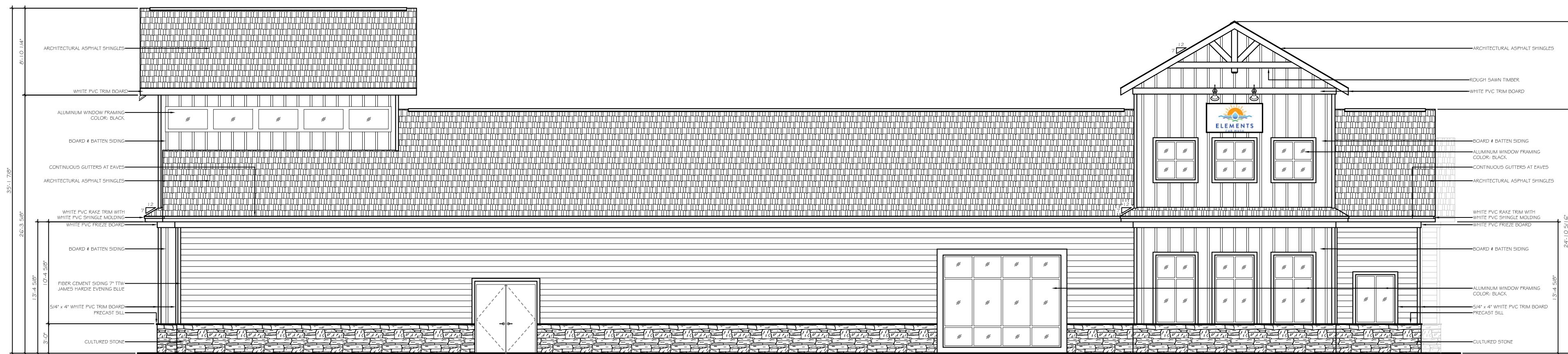
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=20'	05-01-2019	1 OF 1	8172 L



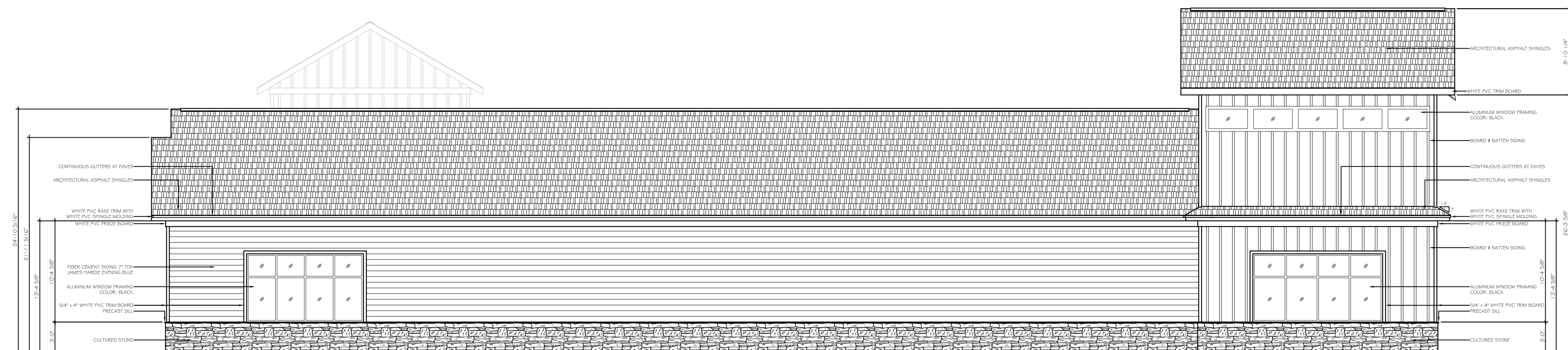
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



3 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

CAR WASH
131 MERROW RD
TOLLAND, CT

JKS
CONSULTING
389 ABBE ROAD
SOUTH WINDSOR, CT 06074
PHONE: 860.982.1127
JSIMMONS52@GMAIL.COM

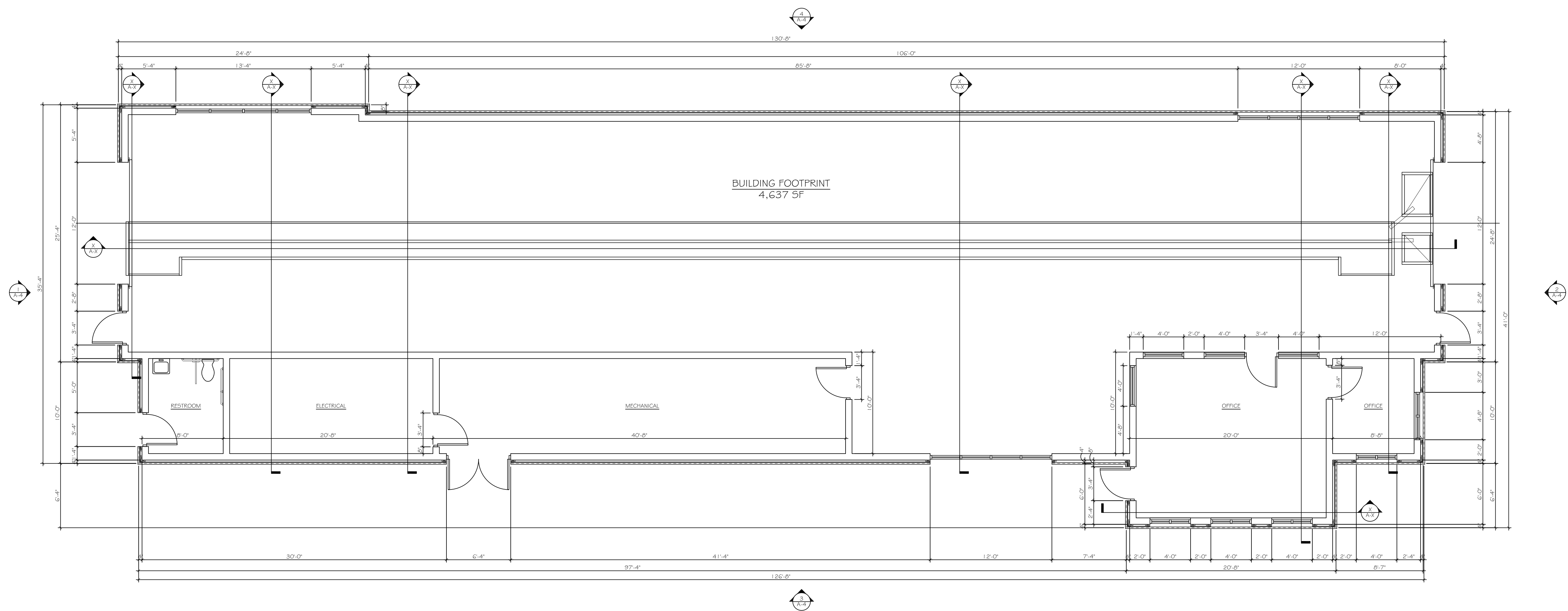
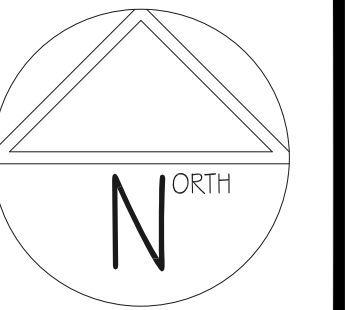
REVISIONS:

DATE:
10/19/23

SCALE:
1/8" = 1'-0"

ELEVATIONS

A-4



PRELIMINARY - NOT FOR CONSTRUCTION

CAR WASH
131 MERROW RD
TOLLAND, CT

JKS
CONSULTING
389 ABBE ROAD
SOUTH WINDSOR, CT 06074
PHONE: 860.982.1127
J.SIMMONS52@GMAIL.COM

REVISIONS:

DATE:
10/19/23

SCALE:
3/16" = 1'-0"

FLOOR PLAN

A-1



JKS CONSULTING



JKS CONSULTING



JKS CONSULTING



Certificate of Mailing — Firm

Name and Address of Sender

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CT 06084

TOTAL NO.
of Pieces Listed by Sender

6

TOTAL NO.
of Pieces Received at Post Office™

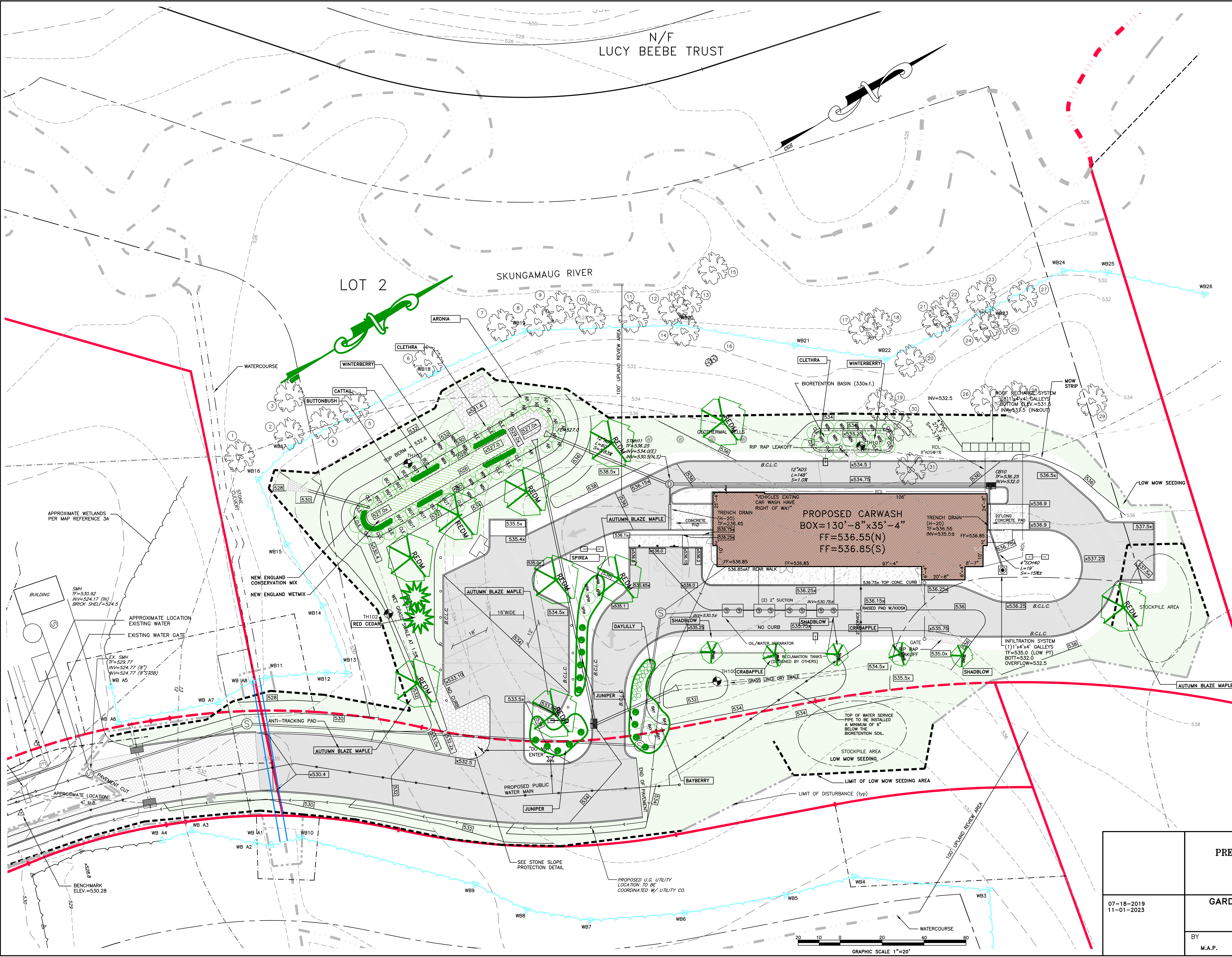
6

Postmaster, per (name of receiving employee)

[Handwritten Signature]

Affix Stamp Here
Postmark with Date of Receipt.

USPS® Tracking Number Firm-specific Identifier	Postage	Fee	Special Handling	Parcel Airift
1. Alan Williams 143 Merrow Road Tolland, CT 06084				
2. SI Realty Co., Inc. PO Box 1308 Pittsfield, MA 01202				
3. Stone Pond Condo Assoc. Stone Pond Drive Tolland, CT 06084				
4. G&G Service, Inc. PO Box 832 Tolland, CT 06084				
5. Whitfield Park Bench LLC & Sherman Parkway LLC 2600 Dixwell Ave. Hamden, CT 06514				
6. Capitol Ventures LLC 231 Farmington Ave. Farmington, CT 06032				



LEGEND

- PROPERTY BOUNDARY
- BUILDING SETBACK
- EXISTING EASEMENT
- EXISTING IRON PIN/PIPE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING ELEVATION
- PROPOSED ELEVATION
- SOILS LINE
- INLAND WETLAND
- TREE LINE
- STONE WALL
- TEST HOLE
- EXISTING CATCH BASIN
- EXISTING DRAINAGE
- EXISTING GRAVITY SEWER
- EXISTING SEWER FORCE MAIN
- EXISTING WATER / SHUT-OFF
- EXISTING UNDERGROUND TELECOMM.
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE
- PROPOSED LIGHT
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED SILT FENCE & L.O.D.
- RDL - ROOF DRAIN LEADER

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

RICHARD ZULICK C.S.S.

MARK A. PETERSON P.E. 20905 REGISTRATION NO.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

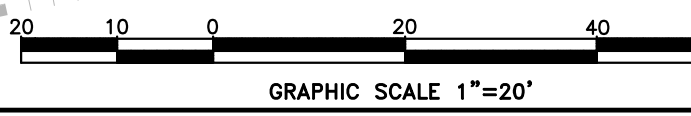
KENNETH R. PETERSON L.S. 10839 REGISTRATION NO.

SOILS LEGEND-WEB SOIL SURVEY
 12 Raypole silt loam
 13 Walpole sandy loam
 57C Gloucester gravelly sandy loam, 8 to 15 percent slopes

PROPOSED CARWASH
 BOX=130'-8"x35'-4"
 FF=536.55(N)
 FF=536.85(S)

PRESENTATION BOARD				
SITE PLAN				
PREPARED FOR SCOT & VALERIE ROGERS				
ELEMENTS CAR WASH				
131 MERROW ROAD				
TOLLAND, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=20'	04-01-2019	1 OF 1	8172 R

07-18-2019
11-01-2023





TOWN of TOLLAND/ 21 Tolland Green, Tolland, Connecticut 06084

*Certified mail: 7014 2870 0001
5820 5347*

August 27, 2019

Valerie & Scot Rogers
23 Clover Springs Drive
Willington, CT 06279

Re: **P&Z App. #19-12, 131 Merrow Road** – Special Permit Approval

Dear Applicant:

You are hereby advised that at the August 26, 2019 meeting, the Planning and Zoning Commission approved your Special Permit (per Section 10-3.C.24) application to allow a car wash that will be connected to a public sewer and the Site Plan dated April 24, 2019 with revisions to July 18, 2019.

The approval was granted with the condition that a conservation easement, as entered into the record at the August 26, 2019 public hearing, must be recorded prior to receiving a Certificate of Occupancy for the new building.

The legal notice announcing the approval will be published on August 28. An appeal period expires 15 days after the publication of that notice. Here are your next steps:

1. You must file the enclosed Notice of Granting a Special Permit with the Town Clerk.
2. Please bring your filing receipt to the Planning & Development Department.
3. Should an appeal be filed within the 15 day appeal period, it may affect the status of your Special Permit.
4. You may then apply for zoning and building permits.

If you have any questions, please contact me at 860-871-3601.

Sincerely,

Heidi Samokar, AICP
Director of Planning and Development

ELEMENTS CAR WASH LLC

131 MERROW ROAD
TOLLAND CT

SPECIAL PERMIT
APPLICATION

PROJECT PLANNERS



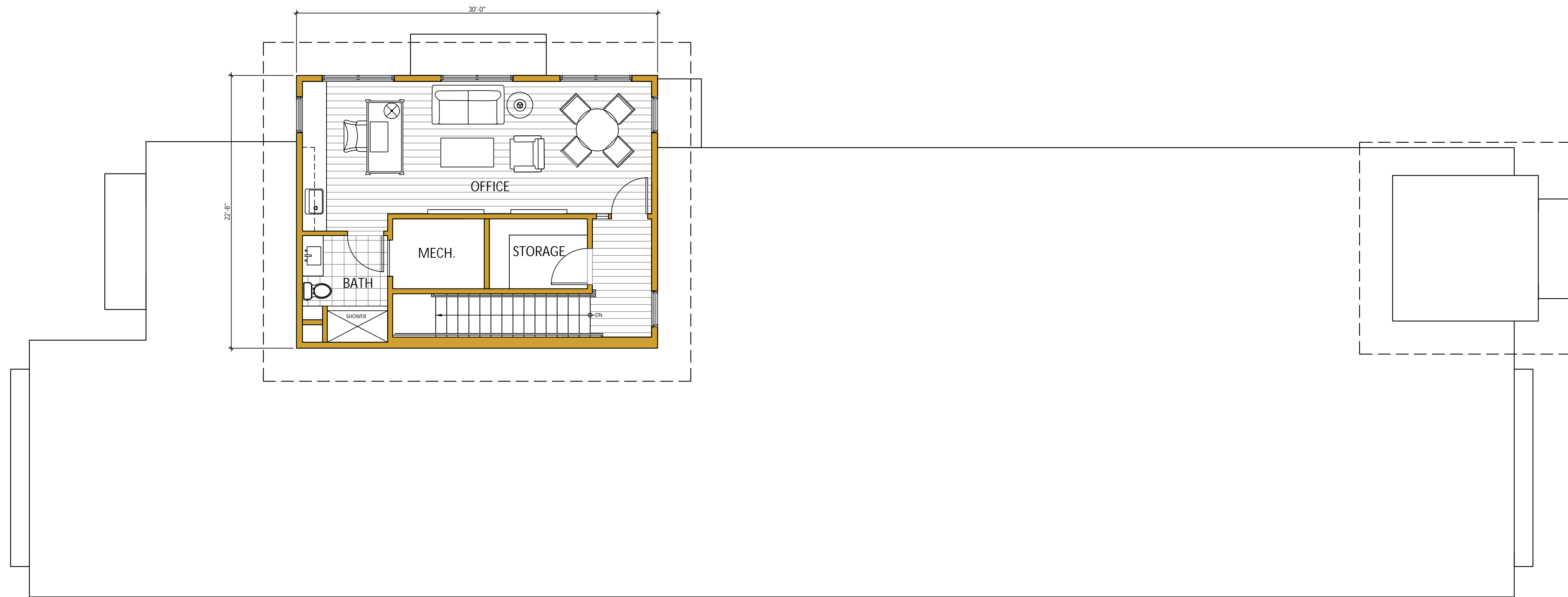
**NEW ENGLAND
DESIGN**
INCORPORATED
860-423-0334

25 Ledgebrook Drive Mansfield CT 06250 860-423-0334
NewEnglandDesign.com

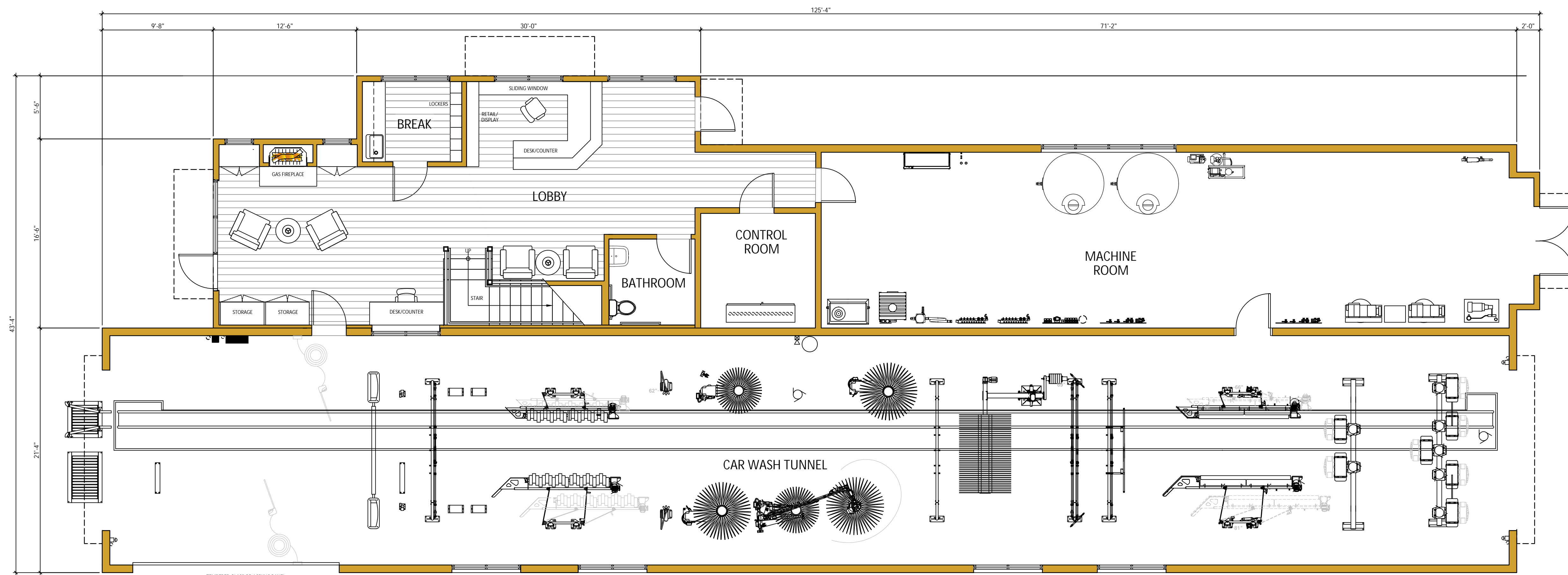
© 2011 New England Design Incorporated

PROJECT ARCHITECT

Karl Norton Architect, LLC
25 Ledgebrook Drive, Mansfield, CT 06250



2 SECOND FLOOR PLAN - 680 SF
A-1 3/16" = 1'-0"



1 FIRST FLOOR PLAN - 4,660 SF
A-1 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT NO	2018-428
DATE	05-12-19
DRAWN BY	AS NOTED
CHECKED BY	JE/KN
SCALE	KN

REVISIONS	

PROPOSED
FLOOR PLANS

A-1

ELEMENTS CAR WASH LLC

131 MERROW ROAD
TOLLAND CT

SPECIAL PERMIT
APPLICATION

PROJECT PLANNERS



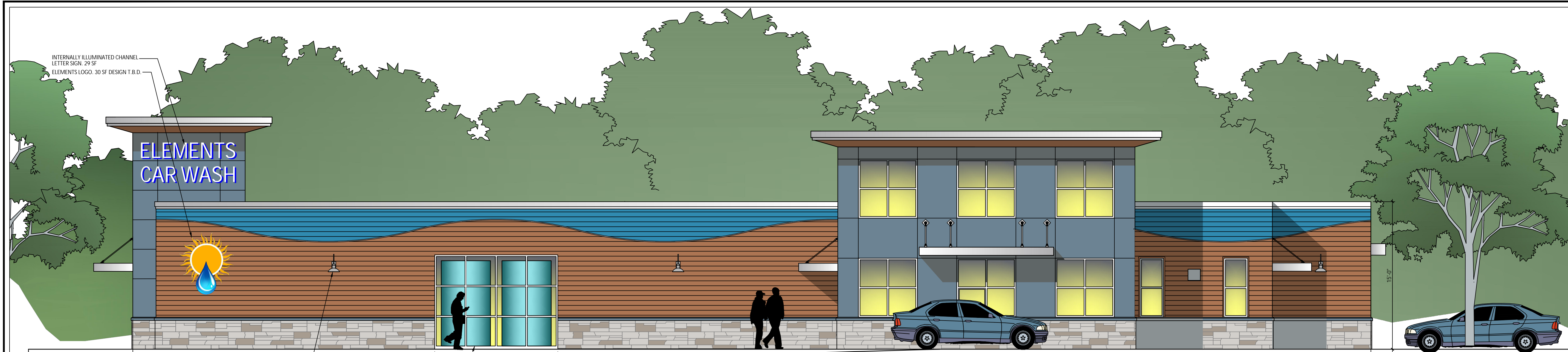
**NEW ENGLAND
DESIGN**
INCORPORATED
860-423-0334

25 Ledgebrook Drive Mansfield CT 06250 860-423-0334
NewEnglandDesign.com

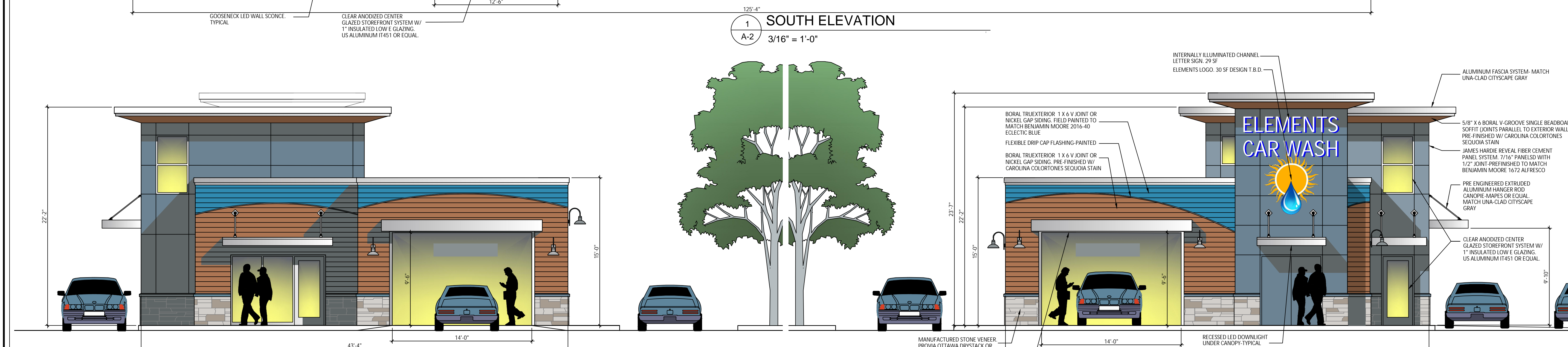
© 2011 New England Design Incorporated

PROJECT ARCHITECT

Karl Norton Architect, LLC
25 Ledgebrook Drive, Mansfield, CT 06250

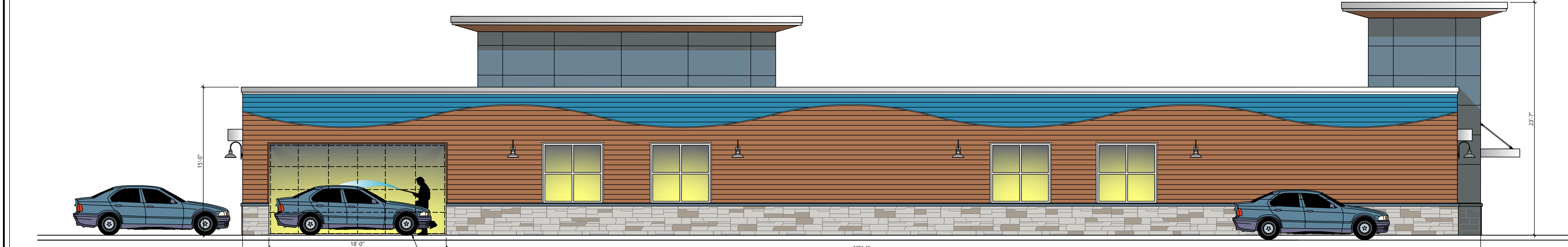


1 SOUTH ELEVATION
A-2 3/16" = 1'-0"



3 EAST ELEVATION
A-2 3/16" = 1'-0"

2 WEST ELEVATION
A-2 3/16" = 1'-0"



4 NORTH ELEVATION
A-2 3/16" = 1'-0"



MANUFACTURED STONE VENEER
PROVIA OTTAWA DRYSTACK-NO GROUT



WALL SCONCE
13" DIA. GOODRICH BOMBER PORCELAIN
GOOSENECK LIGHT W/ LED LAMPING (OR
EQUAL)-METALLIC CHROME FINISH



DUMPSTER ENCLOSURE
6' HIGH PVC VINYL PRIVACY FENCE
WITH ROSEWOOD FINISH BY ILLUSION
VINYL FENCE CO. OR EQUAL

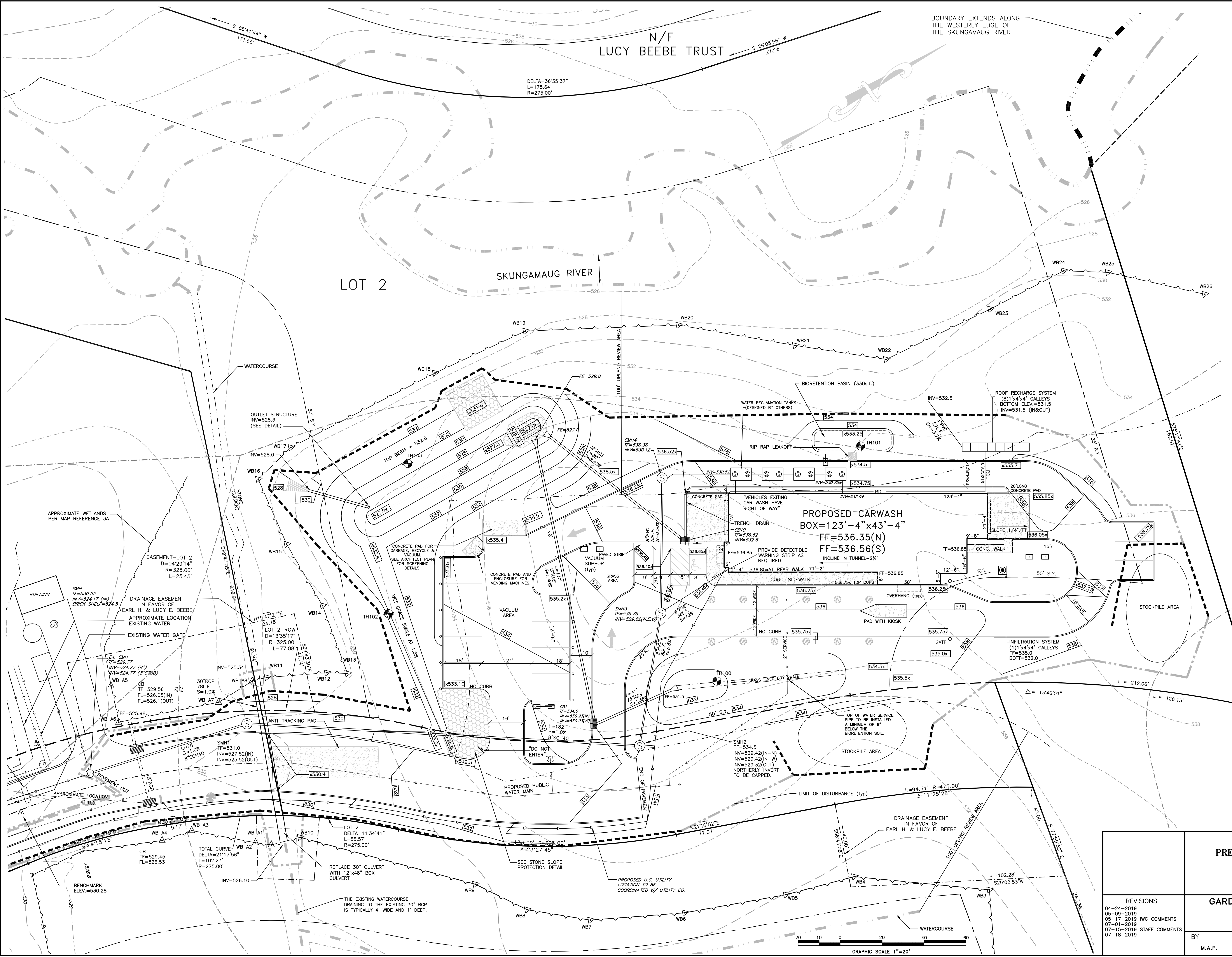
PRELIMINARY - NOT FOR CONSTRUCTION

PROJECT NO	2018-428
DATE	05-12-19
DRAWN BY	AS NOTED
CHECKED BY	JE/KN
SCALE	KN

REVISIONS	

PROPOSED
ELEVATIONS

A-2



LEGEND

PROPERTY BOUNDARY	---
BUILDING SETBACK	---
EXISTING EASEMENT	---
EXISTING IRON PIN/PIPE	○
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING ELEVATION	x529.8
PROPOSED ELEVATION	x533.8
SOILS LINE	---
INLAND WETLAND	---
TREE LINE	---
STONE WALL	---
TEST HOLE	TH
EXISTING CATCH BASIN	---
EXISTING DRAINAGE	---
EXISTING GRAVITY SEWER	---
EXISTING SEWER FORCE MAIN	---
EXISTING WATER / SHUT-OFF	---
EXISTING UNDERGROUND ELECTROM.	---
EXISTING UNDERGROUND TELECOM.	---
EXISTING OVERHEAD WIRES	---
EXISTING UTILITY POLE	---
PROPOSED LIGHT	---
PROPOSED LIMIT OF DISTURBANCE	---
PROPOSED SILT FENCE & L.O.D.	---
ROL - ROOF DRAIN LEADER	---
PROPOSED GEOTHERMAL WELL	---
WATERCOURSE	---
PROPOSED LIGHTS	---
PROPOSED UTILITIES	---
PROPOSED WATER	---
PROPOSED CONCRETE PAD	---

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

RICHARD ZULICK C.S.S.
 MARK A. PETERSON P.E. 20905
 REGISTRATION NO.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

KENNETH R. PETERSON L.S. 10839
 REGISTRATION NO.

SOILS LEGEND-WEB SOIL SURVEY
 12 Raypole silt loam
 13 Walpole sandy loam
 57C Gloucester gravely sandy loam, 8 to 15 percent slopes

SOIL TESTING RESULTS
 BY: GARDNER & PETERSON ASSOCIATES, LLC
 DATE TESTED: OCTOBER 9, 2018

TH 100
 0'-22" TOPSOIL
 7'-22" RED BROWN SANDY LOAM
 22'-44" GRAY COURSE MEDIUM SAND
 44'-63" GRAY DENSE WET SAND WITH LENSES OF COURSE SAND
 DEPTH=75"
 STANDING WATER @ 63"
 NO LEDGE
 MOTTLING @ 44"
 MOST ROOTS TO 20", SOME DEEPER

TH 101
 0'-10" TOPSOIL
 10'-30" LIGHT BROWN FINE SANDY LOAM (APPEARS SAME AS TH100)
 30'-66" GRAY COURSE MEDIUM SAND (APPEARS SAME AS TH100)
 66'-74" MOTTLED, GRAY, DAMP COURSE SAND
 DEPTH=84"
 STANDING WATER AT 74"
 NO LEDGE
 MOTTLING @ 66"
 ROOTS TO 30"
 PERM #7 @ 60"-155 ft/day

TH 102
 0'-9" TOPSOIL
 9'-29" BROWN VERY LOAMY SAND
 29'-40" GRAY BROWN MEDIUM SAND
 40'-52" GRAY SAND, DAMP
 DEPTH=72"
 STANDING WATER AT 52"
 NO LEDGE
 MOTTLING @ 40"
 ROOTS TO 20", SOME TO 30"

TH 103
 0'-4" TOPSOIL
 6'-24" LIGHT BROWN LOAMY SAND
 24'-48" GRAY FINE SAND
 48'-50" VERY COMPACT GRAY FINE SAND
 DEPTH=75"
 STANDING WATER AT 52"
 NO LEDGE
 MOTTLING @ 36"
 ROOTS TO 12", SOME TO 36"

SITE PLAN				
PREPARED FOR SCOT & VALERIE ROGERS				
ELEMENTS CAR WASH				
131 MERROW ROAD				
TOLLAND, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
REVISIONS	SCALE	DATE	SHEET NO.	MAP NO.
04-24-2019	1"=20'	04-01-2019	3 OF 5	8172 R
05-09-2019				
05-17-2019 IWC COMMENTS				
07-01-2019				
07-15-2019 STAFF COMMENTS				
07-18-2019				

GENERAL EROSION AND SEDIMENT CONTROL NOTES

CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR. SEE MAINTENANCE PLAN DATED 11/28/2012 FOR RECOMMENDED FERTILIZER APPLICATIONS.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ONLY PURSUANT TO RECOMMENDATIONS BASED ON SOIL ANALYSIS.
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.
- SOIL STABILIZATION OUTSIDE THE GROWING SEASON SHALL CONSIST OF THE UTILIZATION OF BE SEED COVERED WITH HAY MULCH AND A JUTE NETTING OR UTILIZING AN EROSION CONTROL BLANKET WITH SEED INCORPORATED WITHIN IT. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN STAFF PRIOR TO EARTHWORK BEING PERFORMED OUTSIDE THE GROWING SEASON TO REVIEW ACCEPTABLE EROSION AND SEDIMENT CONTROLS.

PROJECT NAME: ELEMENTS CAR WASH
 LOCATION: 131 Merrow Road, Tolland, CT
 PROJECT DESCRIPTION: Site Plan for proposed car wash
 PARCEL AREA: 4.45+ ACRES
 RESPONSIBLE PERSONNEL: Scot Rogers

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CLEAR TREES/BRUSH	INSPECT EROSION CONTROLS EVERY TWO WEEKS OR AFTER EVERY STORM, WHICHEVER COMES FIRST REPLACE AS NECESSARY		
INSTALL SILT FENCE AS SHOWN			
REMOVE STUMPS AND PAVE			
REPLACE CULVERT AS WEATHER PERMITS			
INSTALL ANTI TRACKING PAD			
ROUGH GRADE SITE			
EXCAVATE TEMPORARY SEDIMENT BASINS			
CONSTRUCT UTILITIES, DRIVE, ETC.			
CONSTRUCT BUILDING			
FINAL GRADE SITE			
PAVE SITE			
REMOVE SEDIMENT FROM TEMPORARY SEDIMENT BASINS AND FINAL GRADE			
TOPSOIL, SEED AND MULCH DISTURBED AREA	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		

PROJECT DATES:
 DATE OF CONSTRUCTION START: Within permit timeframes
 DATE OF CONSTRUCTION COMPLETION: Within permit timeframes

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

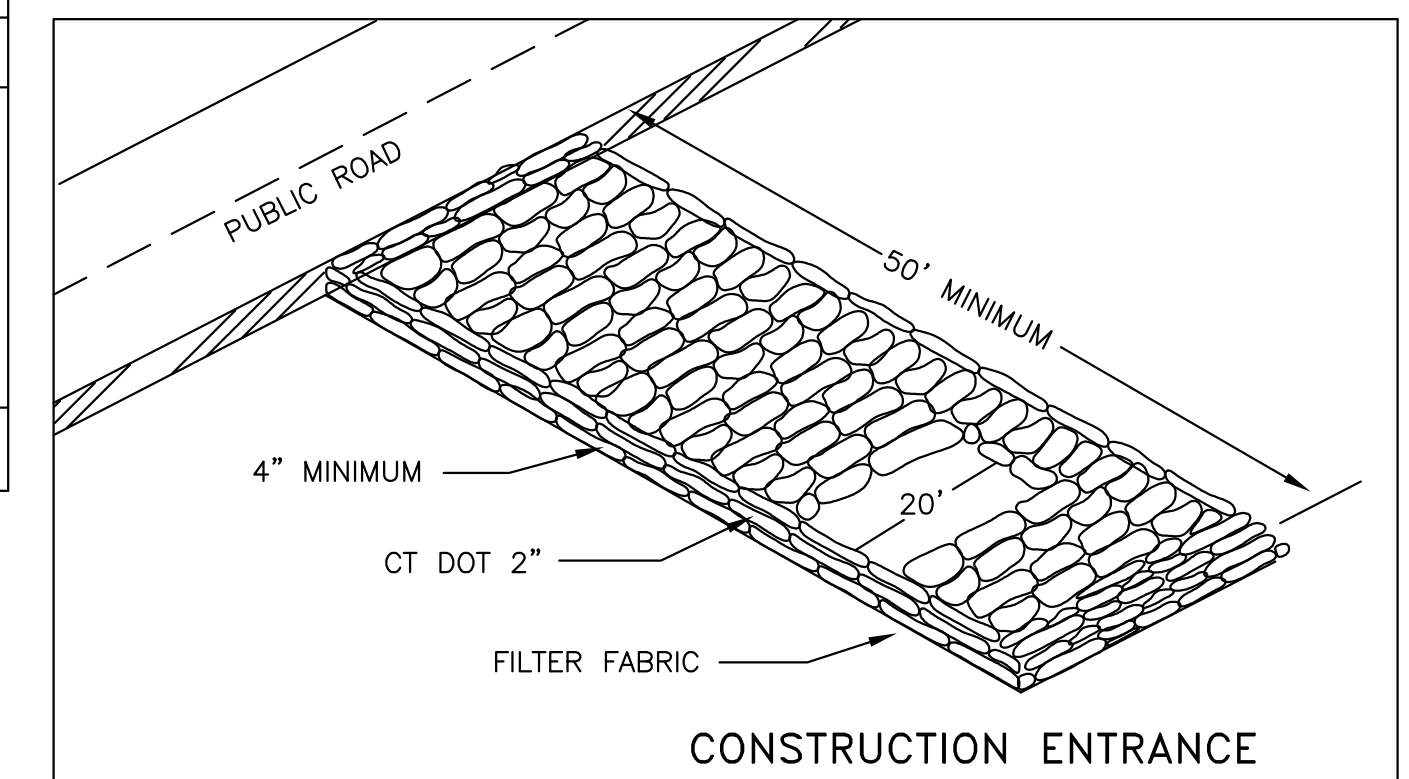
PROJECT NARRATIVE

The purpose of this project is to construct a new car wash and associated access and utilities. The proposed building is to be serviced by public sanitary sewer and water and will be accessed from the existing private road which will be extended to the site.

Construction shall commence with the installation of a construction entrance, tree removal, installation of silt fence barrier followed by the removal of the stumps. During rough grading, haybales or silt fence shall be installed as shown at the toe of cut and fill slopes. Installation of drainage structures and piping may proceed as the construction schedule allows.

Completion of the utility installation is to be followed by placing processed gravel, and final grading of the paved areas. All erosion control measures shall be maintained and upgraded as needed until stable vegetative growth is has been established. At all times erosion of exposed and stockpiled materials shall be prevented using measures specified in these plans. Once the site is stabilized, sediment within the basins will be removed and the stormwater wetlands will be seeded/planted as depicted on these plans.

Proposed soil erosion and sediment control measures were designed using criteria set forth by the "Connecticut Guidelines for Soil Erosion and Sediment Control", revised to 2002.



TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-8/15

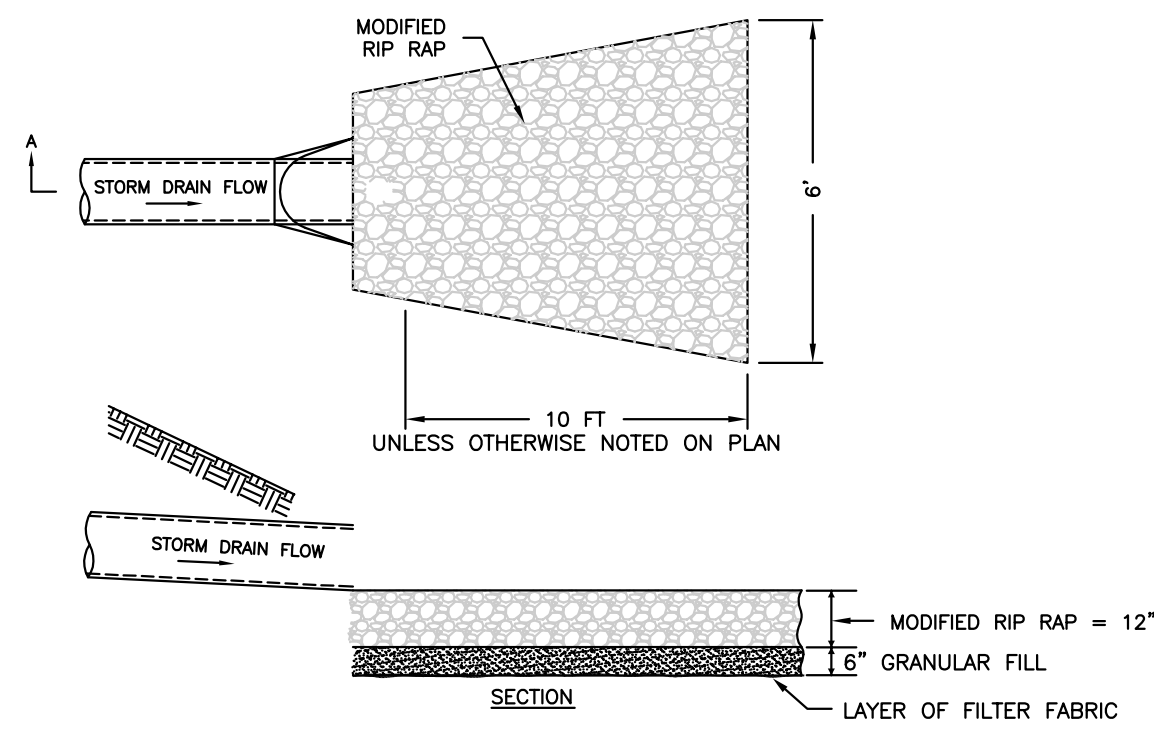
TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

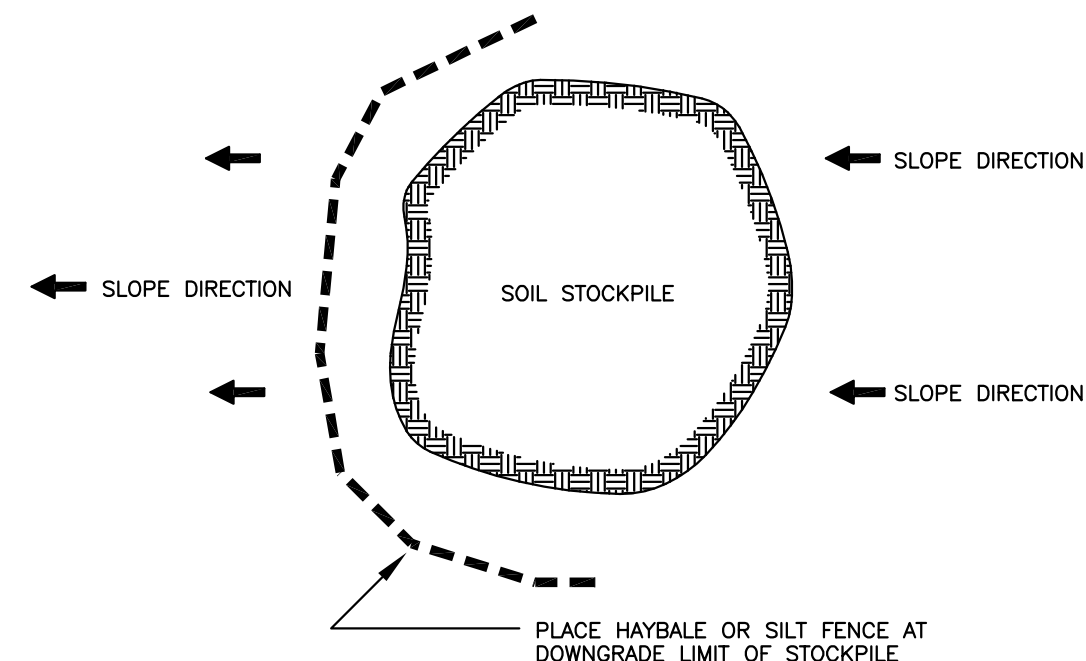
SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREEPING RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

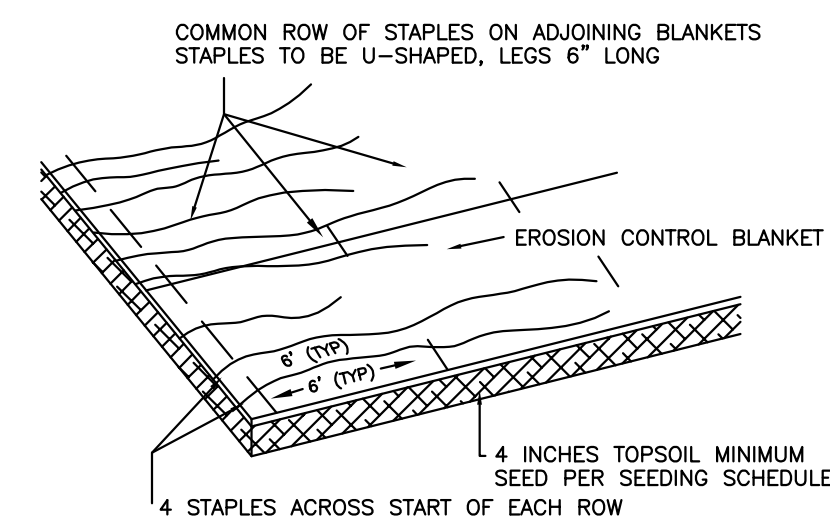


- NOTES:
- WHERE POSSIBLE LEVEL SPREADER TO BE CONSTRUCTED ON UNDISTURBED SOIL.
 - SHAPE THE ENTRANCE TO THE SPREADER IN SUCH A MANNER AS TO ENSURE THAT RUNOFF ENTERS DIRECTLY ONTO THE CHANNEL.

OUTLET PROTECTION DETAIL

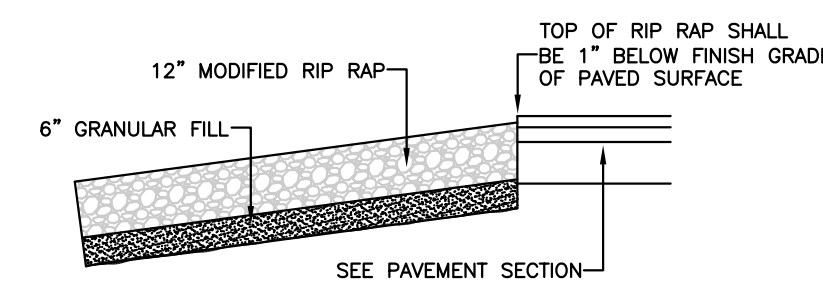


STOCKPILE EROSION PROTECTION DETAIL



- NOTES:
- FOR SLOPES GREATER THAN 3:1, EROSION CONTROL BLANKET TO BE NORTH AMERICAN GREEN S 150 DOUBLE NET STRAW BLANKET OR EQUAL UNLESS OTHERWISE NOTED.
 - INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

EROSION CONTROL BLANKET

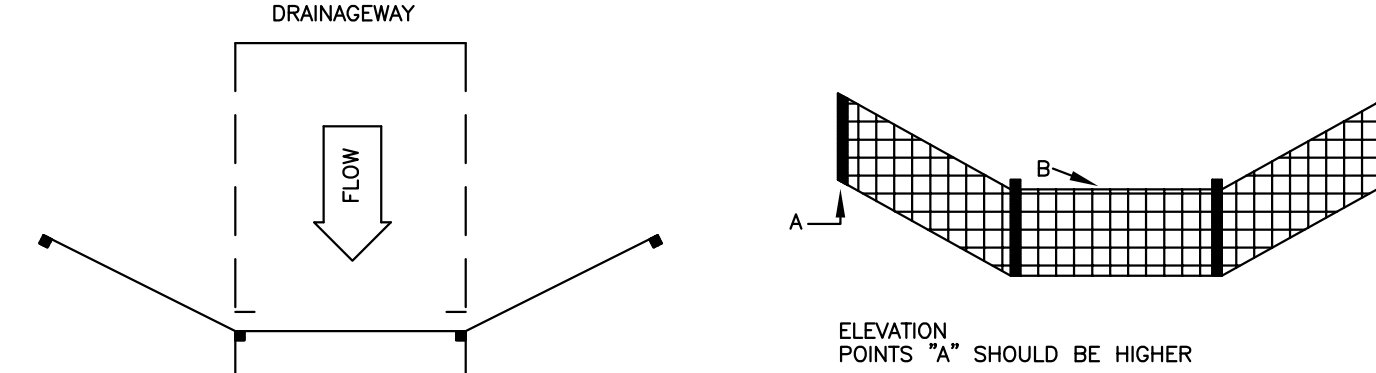
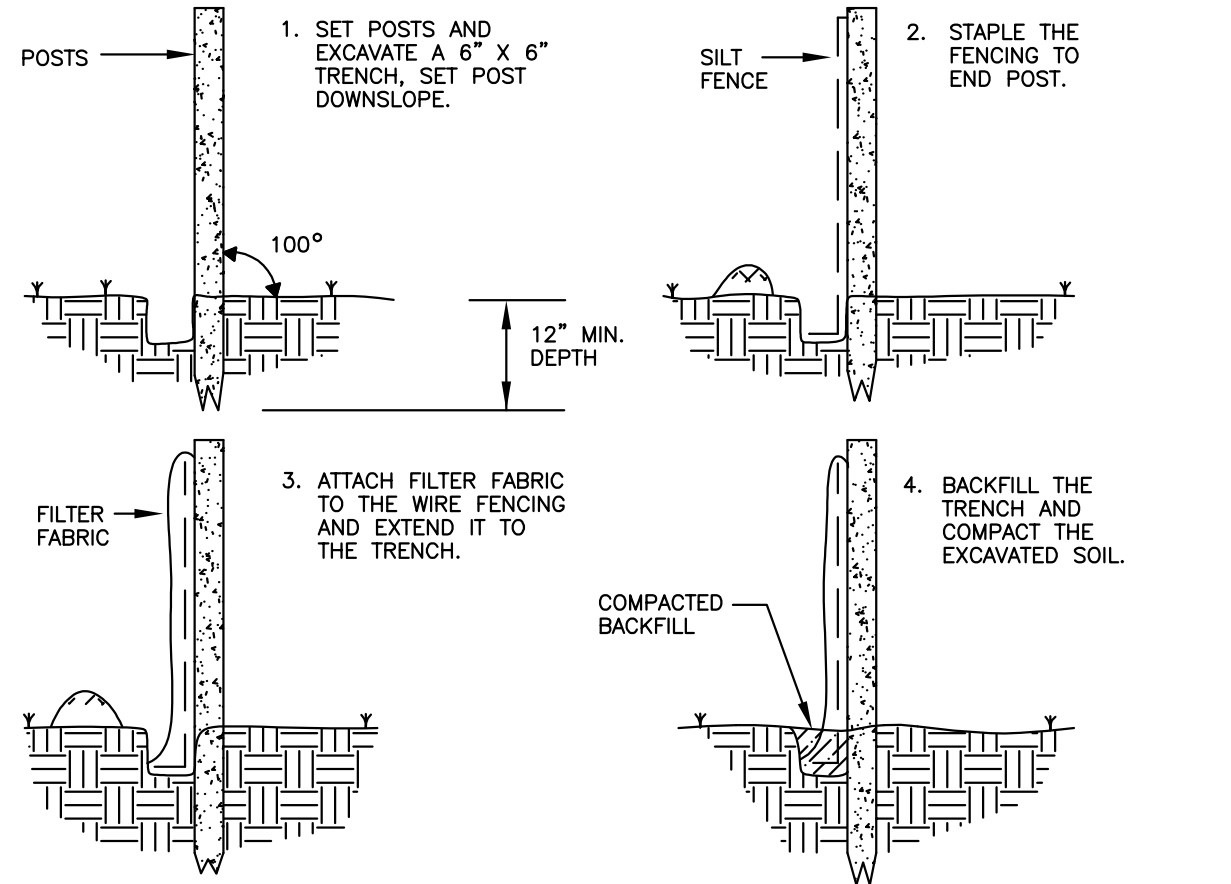


STONE SLOPE PROTECTION

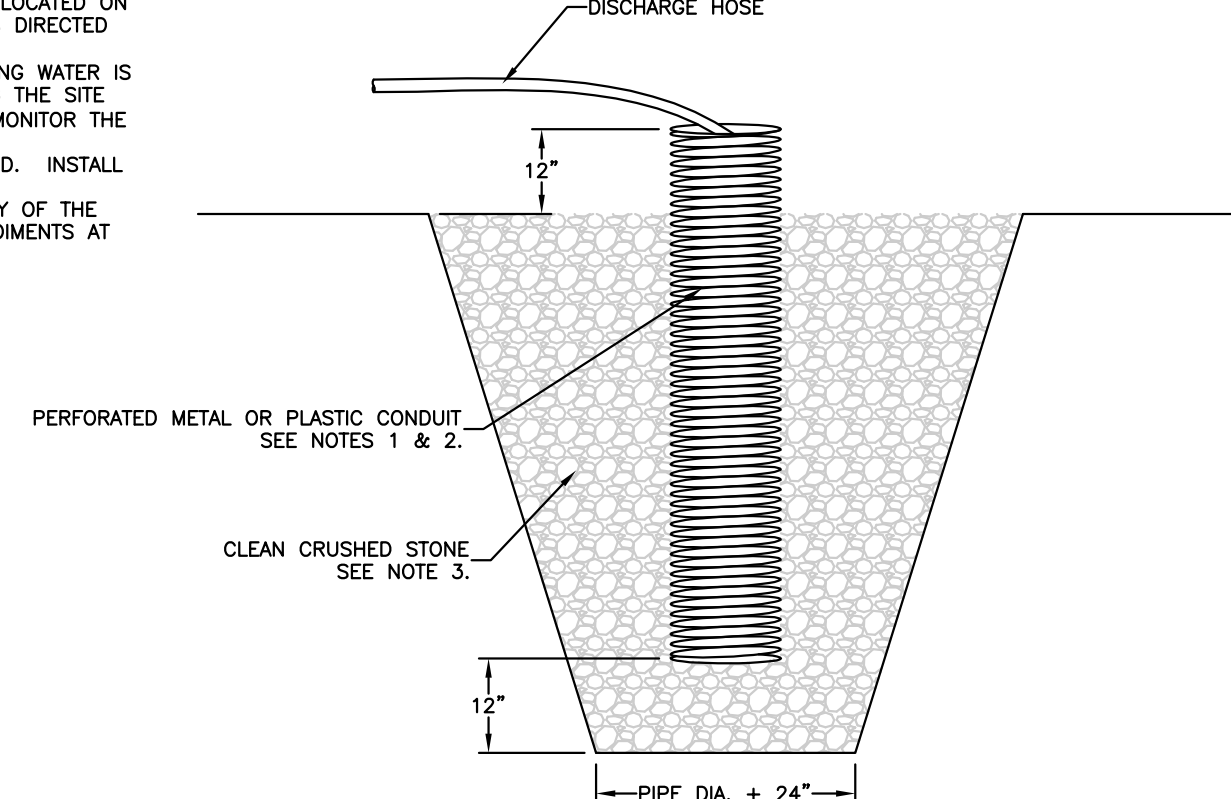
HAY BALE APPLICATIONS

- Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
- All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides rather than along the tops and bottoms of the bales to prevent deterioration of the bindings.
- The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier.
- Each bale shall be securely anchored by at least two stakes or rebars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
- The gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between the bales.
- Inspection shall be frequent and repair or replacement shall be made promptly as needed.

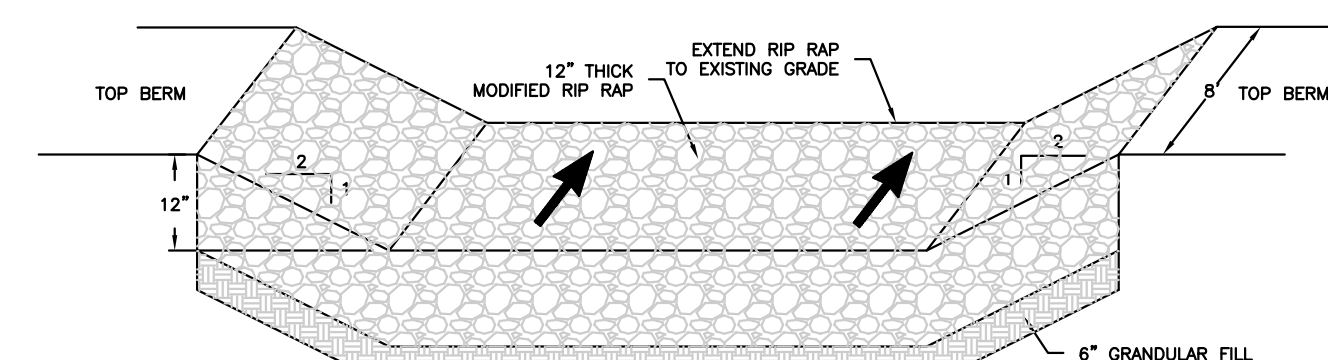
PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER



- NOTES:
- THE STANDPIPE DIAMETER AND NUMBER OF PERFORATIONS SHALL BE COMPATIBLE WITH THE PUMP SIZE BEING USED.
 - PERFORATIONS IN THE STANDPIPE SHALL EITHER BE CIRCULAR OR SLOTS. PERFORATION SIZE SHALL NOT EXCEED 1/8" IN DIAMETER.
 - CRUSHED STONE OR GRAVEL SHALL BE NO SMALLER THAN CT DOT #67 NOR LARGER THAN CT DOT #3 SIZE. CRUSHED STONE SHALL EXTEND A MINIMUM OF 12" BELOW THE BOTTOM OF THE STANDPIPE.
 - THE STANDPIPE SHALL EXTEND A MINIMUM OF 12" ABOVE THE SURROUNDING GROUND.
 - PLACE GEOTEXTILE BETWEEN THE EXISTING SOIL AND CRUSHED STONE.



PUMP INTAKE PROTECTION SUMP

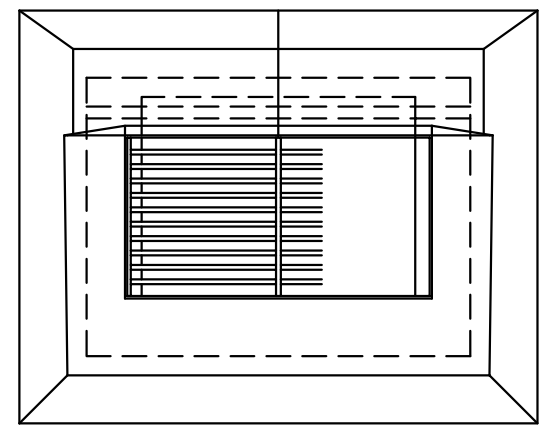


EMERGENCY SPILLWAY

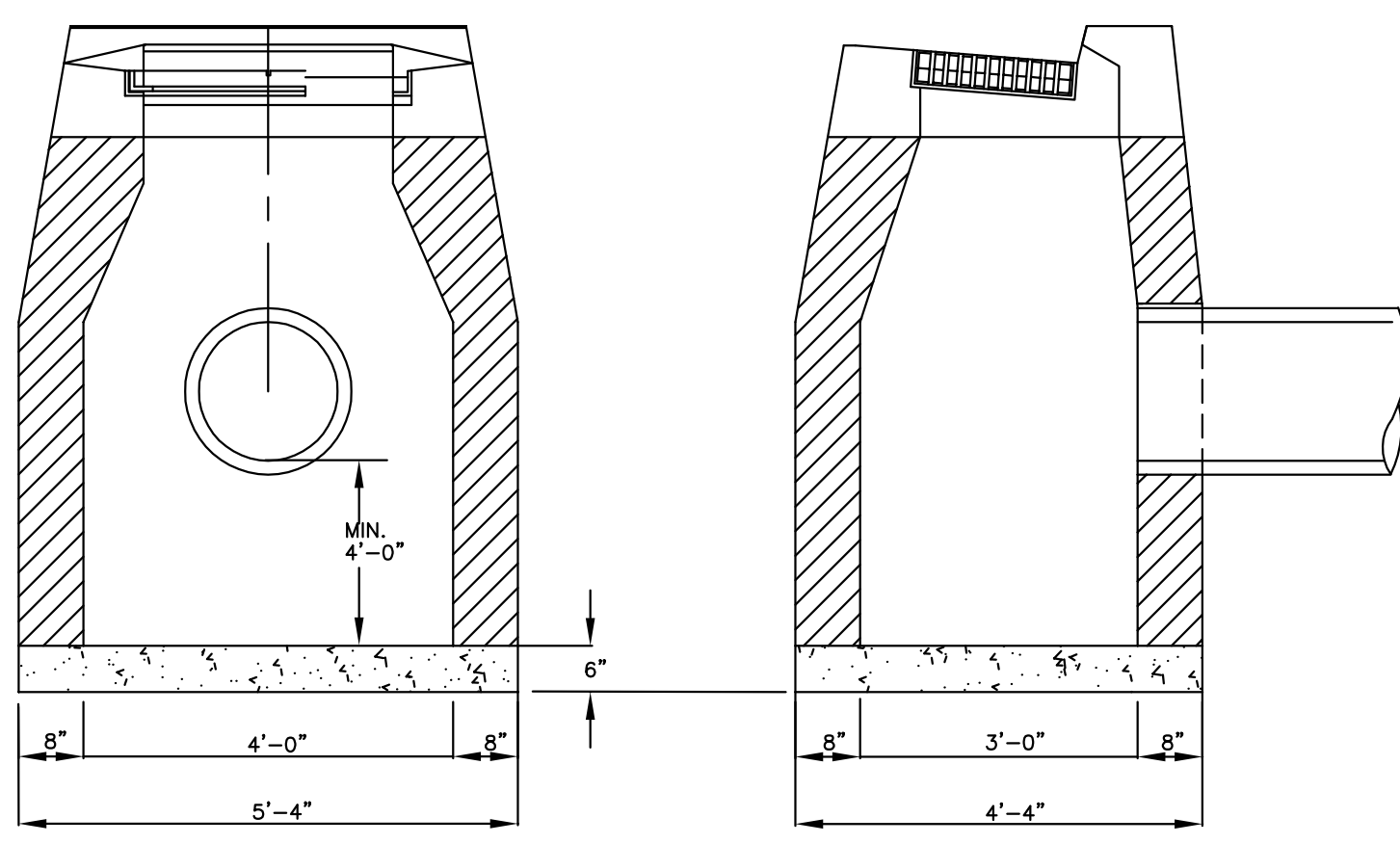
Maintenance Item	Inspection	Maintenance
Road Infiltration System	Visual Inspection Semi-Annually	<ul style="list-style-type: none"> Remove inspection port caps to verify that runoff has infiltrated & leaves/debris are not collecting in system. Check sediment depth and vacuum when 6" of sediment has accumulated.
Grass-Lined Swale Vegetative Waterway	Visual Inspection Semi-Annually Semi-Annual Semi-Annual Semi-Annual	<ul style="list-style-type: none"> Maintain grass at a height of 4 to 6 inches during growing season. Remove debris/sediment from swale. Check for evidence of stormwater runoff overflowing swale. Mow.
Sediment Forebay	Visual Inspection Semi-Annually Semi-Annually Every 5 years	<ul style="list-style-type: none"> Maintain Stability of embankment. Mowing. Remove sediment every 5 years or before sediment is within one-foot of the top of the forebay.
Stormwater Basin	Inspect Semi-Annually	<ul style="list-style-type: none"> Remove Invasive Vegetation Inspect Embankments Clean Perforations Monitor Sediment Accumulation Mow Sidepipes
Box Culvert	Quarterly	Remove debris
Car Wash Tunnel	Daily	Inspect conveyor for debris
Recirculation Tanks	Monthly	Use measure stick to monitor depth of debris to coordinate pumping. Pump 2-3 times per year.

EROSION & SEDIMENT CONTROLS PREPARED FOR SCOT & VALERIE ROGERS				
ELEMENTS CAR WASH				
131 MERROW ROAD				
TOLLAND, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	N.T.S.	09-01-2018	4 OF 5	8172 R
REVISIONS 04-24-2019 05-09-2019 05-17-2019 IWC COMMENTS 07-01-2019 07-15-2019 STAFF COMMENTS 07-18-2019				

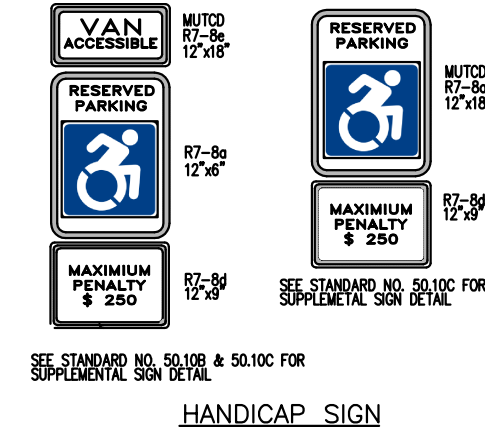
- NOTES:**
- DURING CONSTRUCTION, CARE MUST BE TAKEN NOT TO COMPACT THE UNDERLYING NATURAL SOILS. HEAVY VEHICLES SHALL NOT ENTER THE EXCAVATION OF THE RAIN GARDEN. RAIN GARDEN AREA SHALL BE FENCED OFF TO PREVENT COMPACTION AT THE INITIATION OF SITE CONSTRUCTION. ENGINEER SHALL BE PRESENT TO WITNESS INSTALLATION OF RAIN GARDEN.
 - THE TOP LAYER, ADD FIVE PERCENT AGED (AT LEAST TWO YEARS) COMPOST TO THE LOAMY SAND MIX, FOR A SUITABLE PLANT GROWTH MEDIUM.
 - LOAMY SAND MIX SHALL BE TESTED FOR CONFORMANCE WITH THE FOLLOWING SPECIFICATIONS AND APPROVED BY A PROFESSIONAL ENGINEER BEFORE PLACEMENT.
 WASHED MEDIUM SAND 85-90%
 FINES (SILT & CLAY) 8-12%
 ORGANIC MATTER 3-5%
 - BULK DENSITY OF INSTALLED LOAMY SAND SHALL NOT EXCEED 95 LBS/CUBIC FOOT.
 - LOAMY SAND SHALL BE PLACED BY A BACKHOE EXCAVATOR FROM OUTSIDE THE BASIN.



- NOTES:**
- TYPE "C" CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 - STRUCTURE TO BE PRECAST CLASS "A" CONCRETE, OR MASONRY CONCRETE UNITS, WHERE MASONRY CONCRETE UNITS ARE USED CORRELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 - SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB, WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.
 - WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.



TYPE "C" CATCH BASIN
N.T.S.



HANDICAP SIGN

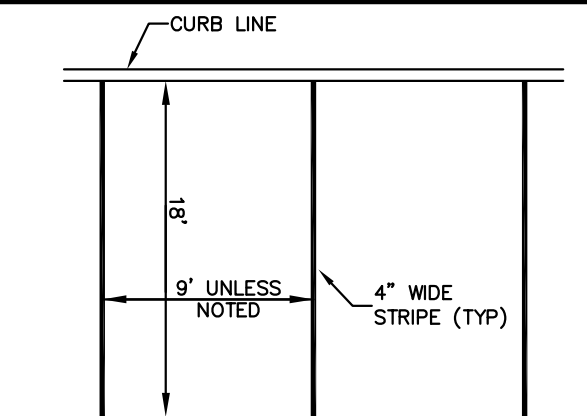
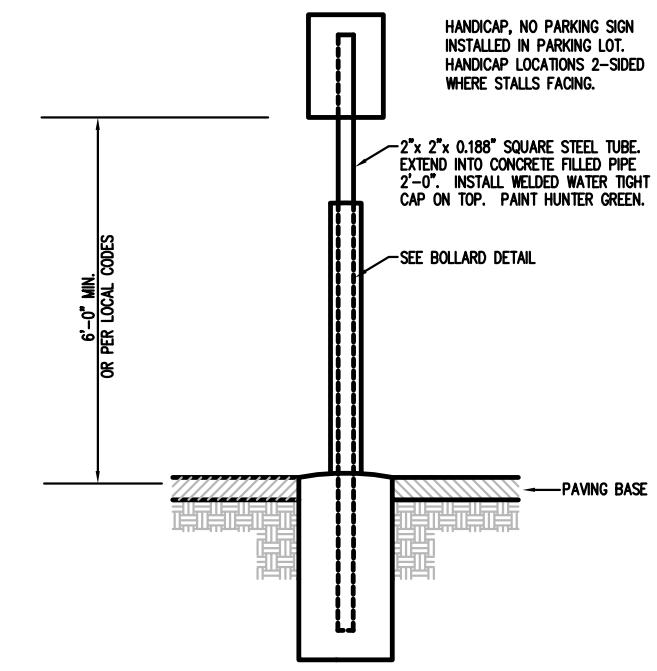
NOTE: ALL STRIPES TO BE 4" PAINTED WHITE



PAINTED HANDICAP SYMBOL

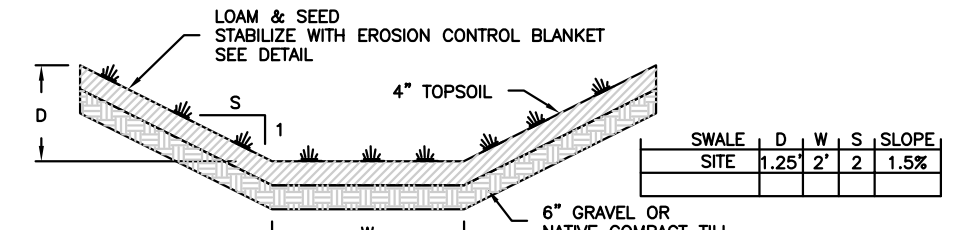
ACCESSIBLE PARKING AND SIGNAGE STANDARDS

- NOTES:**
- PROVIDE DETECTABLE WARNING FOR CURB RAMPS. DETECTABLE WARNING SHALL CONSIST OF TRUNCATED DOME SURFACE ON RIGID TACTILE PAVING TILES. TILES SHALL BE 2"x3" FOR 4" WIDE RAMPS AND 2"x4" FOR 5" WIDE RAMPS. TILE COLOR SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT HANDICAP SPACING, GRADING AND APPURTENANCE IN ACCORDANCE WITH CURRENT FEDERAL, STATE OR LOCAL CODES. THE CONTRACTOR SHALL CONSULT WITH THE LOCAL BUILDING OFFICIAL TO OBTAIN CURRENT INFORMATION



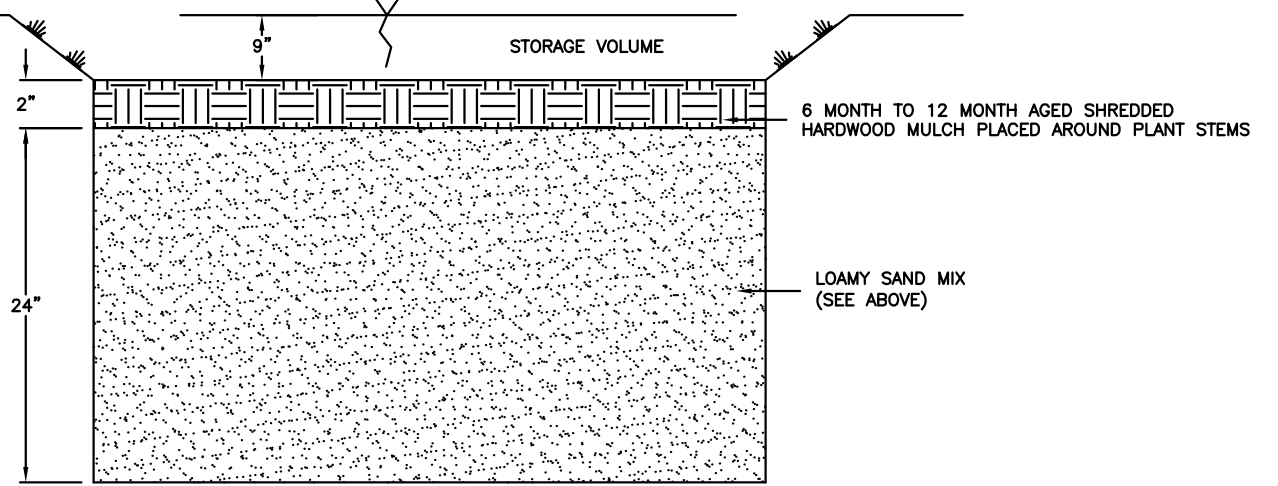
- PAVEMENT MARKING NOTES:**
- All work to conform to Form 816, Section 12.09 and the manufacturer's instructions and recommendations for application.
 - Lines shall be four (4) inches wide, except as noted, and 15 mils thick, colored white, except as noted.
 - Point shall be either white or tinted ready-mixed paint conforming to AASHTO M70, Type 1.
 - Epoxy Resins shall conform to Form 816 and project requirements for layout of crosswalks. Install glass beads by free fall method.
 - Prior to painting, sweep pavement with power broom supplemented with hand brooms to eliminate loose material and dust.
 - After applying paint, erect suitable barriers to prevent tracking of paint before drying. Retouch and point oil markings which become smeared, discolored, worn, or otherwise marred before final acceptance of the project. Remove any evidence of smearing of paint.

PAINTED PARKING STALL DETAIL

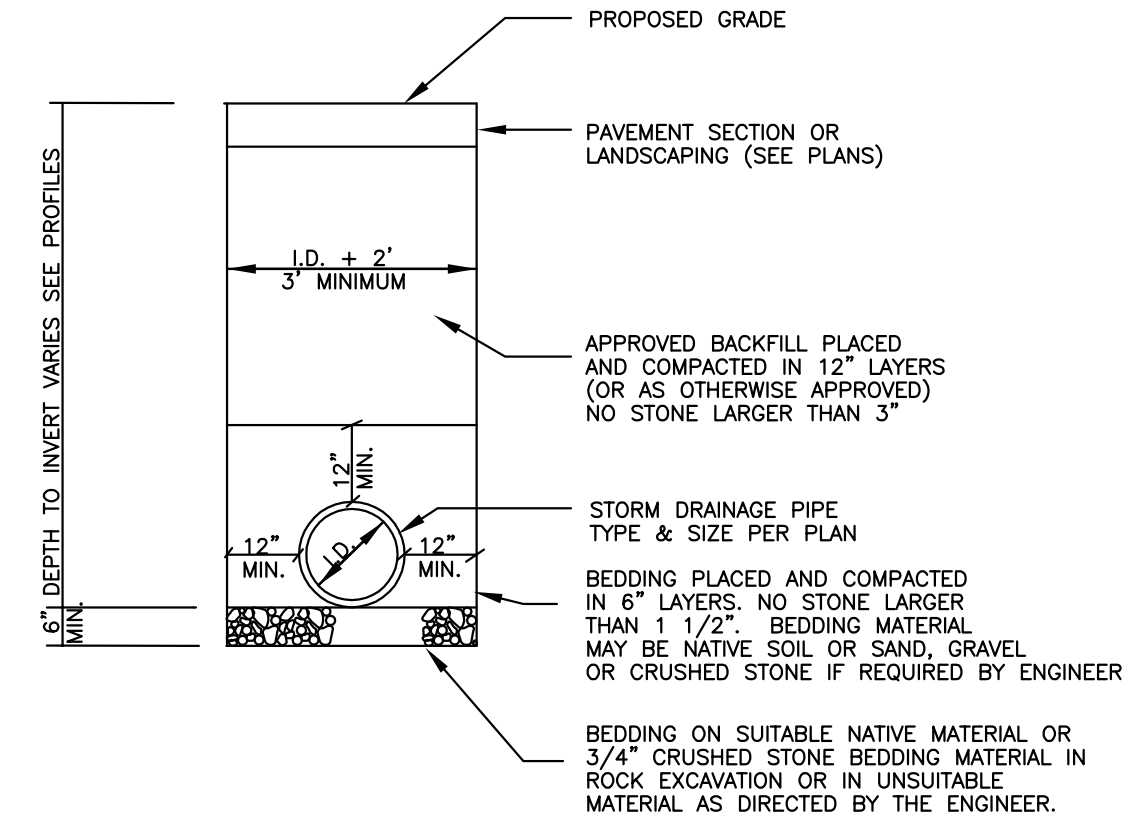


WET GRASS-LINED SWALE

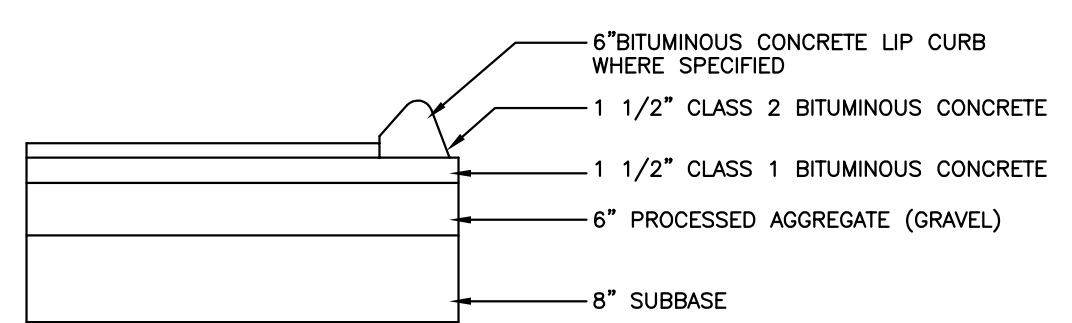
- CONSTRUCTION AND MAINTENANCE REQUIREMENTS:**
- THE DESIGN ENGINEER SHALL OVERSEE THE PREPARATION OF THE AREA AND THE CONSTRUCTION OF A WET SWALE.
 - THE DESIGN ENGINEER SHALL PROVIDE A CERTIFICATION THAT THE SYSTEM WAS DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS FOUND IN THE DESIGN MANUAL AND CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.
 - THE WET SWALE SHALL BE INSPECTED ANNUALLY AND AFTER STORMS GREATER THAN 1-YEAR, 24-HOUR STORM EVENT.
 - SEDIMENT SHALL BE REMOVED ACCUMULATION EXCEEDS 25% OF THE WQV STORAGE VALUE.
 - PLANT SHALL BE INSPECTED ANNUALLY FOR 1ST TWO GROWING SEASONS. DEAD OR DYING PLANTS SHALL BE REPLACED AS NECESSARY.



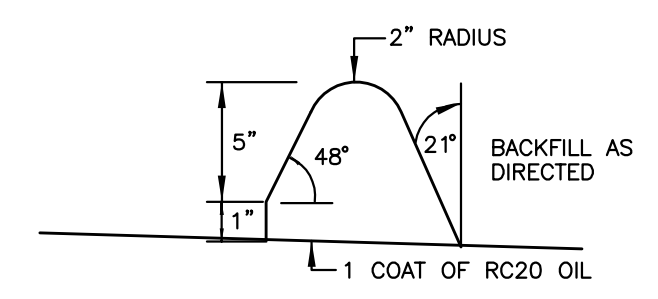
BIORETENTION SECTION
(WEST OF BYPASS EXIT LANE)



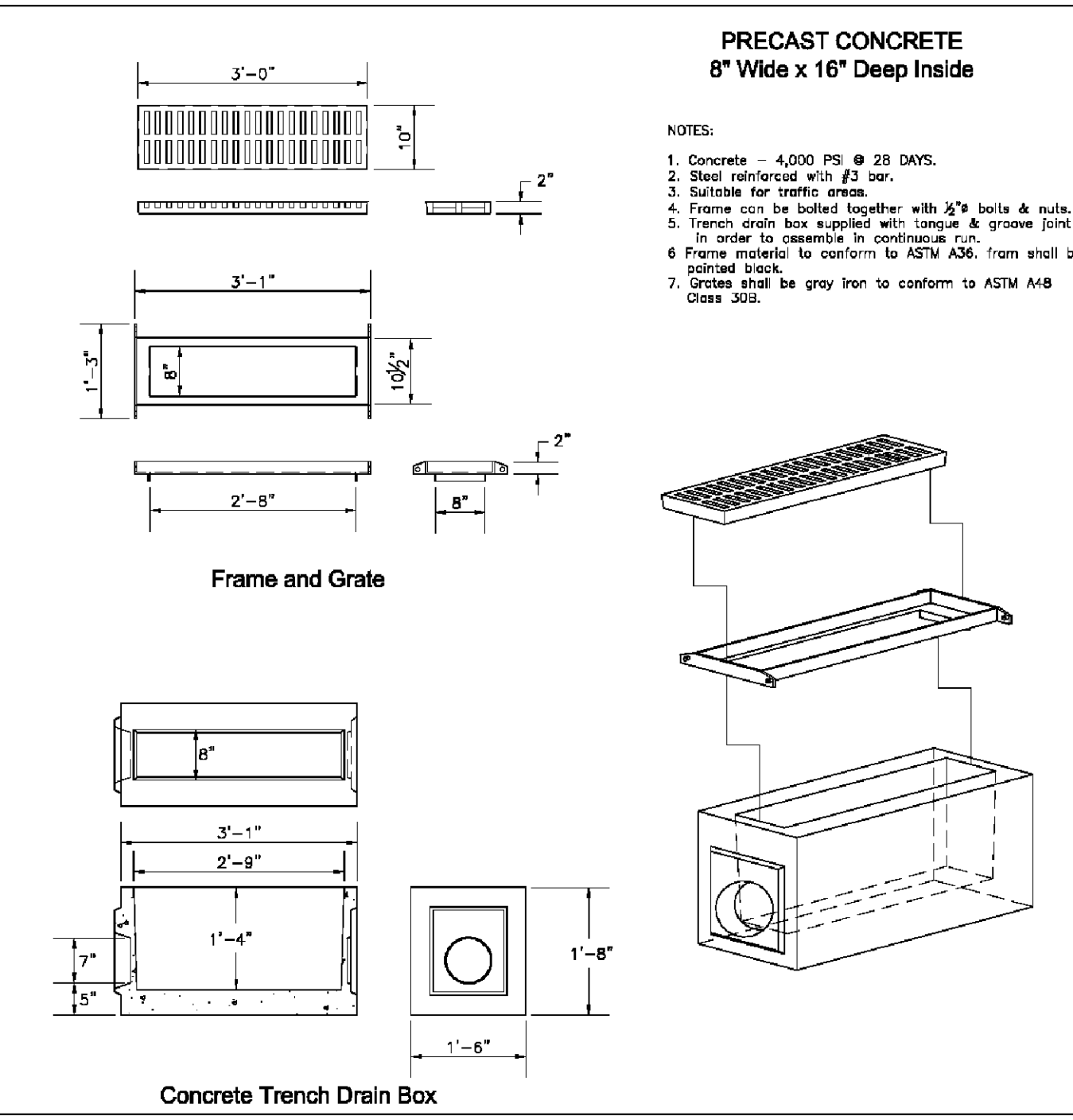
STORM DRAIN TRENCH DETAIL
N.T.S.



PAVEMENT CROSS SECTION



BITUMINOUS CONCRETE LIP CURBING
N.T.S.



PRECAST CONCRETE 8" Wide x 16" Deep Inside

- NOTES:**
- Concrete - 4000 PSI @ 28 DAYS.
 - Steel reinforced with #3 bar.
 - Suitable for traffic areas.
 - Frame can be bolted together with 2"x8" bolts & nuts.
 - Trench curb box supplied with tongue & groove joint in order to assemble in continuous run.
 - Frame material to conform to ASTM A36. From shall be painted black.
 - Grates shall be gray iron to conform to ASTM A18 class 302.

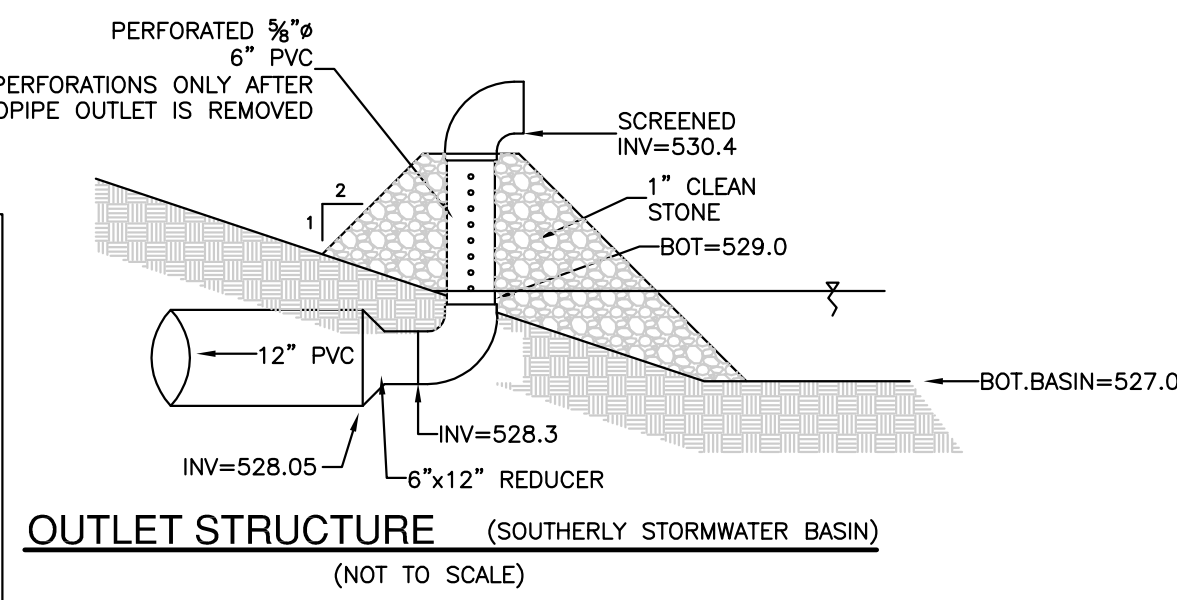
UTILITY EXTENSION NOTES:
Tolland Water will be providing specific information on the location of the existing water main. This plan assumes a worst case scenario which proposes a water main connection at the northerly streetline of Merrow Road.

We anticipate utilities will be extended from the northerly streetline of Merrow Road within the existing Right of Way owned by Alan Williams and through a portion of the R.O.W on 131 Merrow Road as shown on sheet 3.

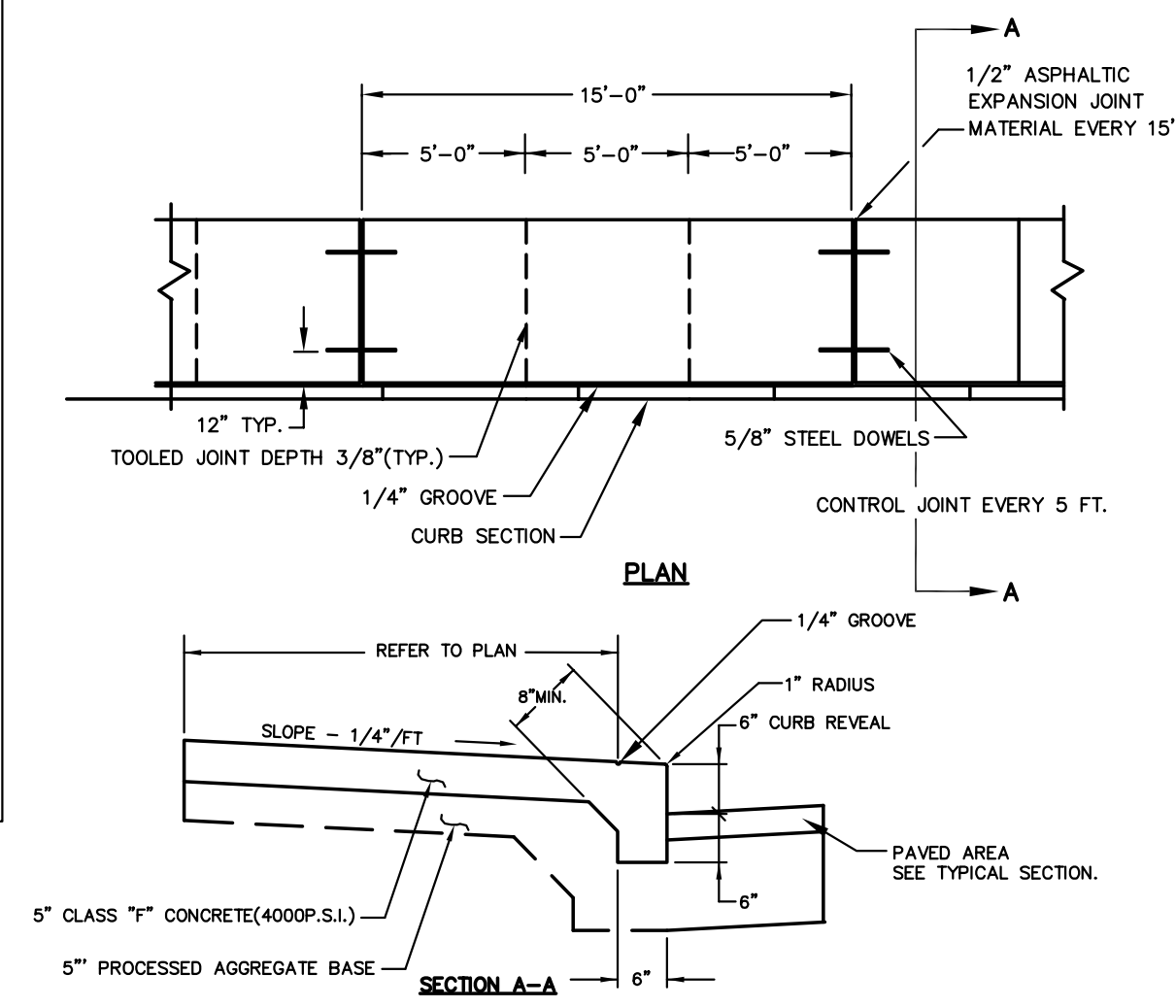
The contractor shall allow ingress and egress to the Savings Institute Bank and Trust and Alan Williams's office during construction of the utility extension. Any damage to curbs, landscaping, etc shall be replaced and lawn areas shall be topsoiled and seeded. Temporary spoils from trenching can be placed within the easterly travel lane between the Savings Institute Bank and Trust curb cuts with haybales placed as necessary for erosion control. Pavement patch shall be provided as soon as possible.

- NOTES:**
- SEE TANK CONFIGURATION PLAN FOR LAYOUT/SIZING/PIPING/DETAILS ETC. PREPARED BY JAMES WATERMAN (NATIONAL CAR WASH SOLUTIONS).
 - CLEANOUT MANHOLES TO GRADE TO BE PROVIDED. TANK COVERS TO BE REMOVED.
 - TANK TO BE MANUFACTURED BY ARROW CONCRETE OR AN EQUIVALENT MANUFACTURER. TANKS AND RISERS TO BE H2O RATED AND CERTIFIED WATER TIGHT. INTERIOR OF TANK SHALL BE COATED WITH EPOXY PETROLEUM RESISTANT SEALANT THAT IS RESISTANT TO GASOLINE, OIL AND SOLVENTS. EXTERIOR OF SEPARATOR AND EXTENSION TO GRADE MANHOLES SHALL BE COATED WITH A WATERPROOF SEALANT. SEAMS MUST BE LOCATED ABOVE STATIC LIQUID LEVEL. SEAMS MUST BE FILLED IN WITH NON-SHRINKING CEMENT OR SIMILAR MATERIAL AN COATED WITH A WATERPROOF SEALANT. VOIDS BETWEEN SEPARATOR WALLS AND INLET AND OUTLET PIPING MUST BE GROUTED WITH NON-SHRINKING CEMENT AND COATED WITH A WATERPROOF SEALANT. CONCRETE COVERS SHALL BE PERMANENTLY REMOVED.
 - MANHOLES SHALL BE: LOCATED ABOVE INLET PIPING. LOCATED ABOVE OUTLET PIPING. SEPARATOR CONTAINS STEEL FRAMES AND MANHOLE COVERS. DIAMETER OF MANHOLE IS AT LEAST 18 INCHES.
 - THE VENT LINE: SHALL EXTEND AT LEAST 8 FEET ABOVE FINISHED GRADE. SHALL BE PROPERLY SECURED. DIAMETER OF VENT LINE IS AT LEAST HALF THE SIZE OF THE DIAMETER OF THE OUTLET PIPING.
 - THE TEE SHALL: EXTEND UP THE EXTENSION TO GRADE MORE THAN 3 INCHES ABOVE THE STATIC LIQUID LEVEL, BUT NO CLOSER THAN 8 INCHES FROM THE MANHOLE COVER. EXTEND 6 INCHES TO 24 INCHES FROM THE BOTTOM OF THE CHAMBER.
 - THE PROOF OF PURCHASE AND MANUFACTURERS LITERATURE ON THE SEPARATOR TANK, INTERIOR AND EXTERIOR COATINGS, NON-SHRINKING CEMENT AND/OR WATERPLUG WITH WATERPROOF SEALANT OBTAINED AND ARE BEING KEPT AT THE REGISTERED FACILITY LOCATION.

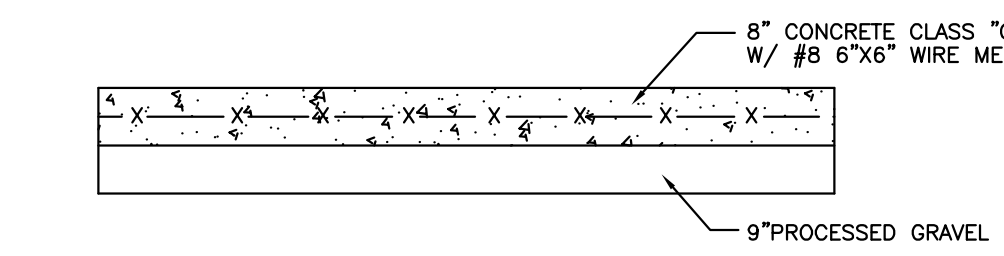
RECLAMATION TANKS



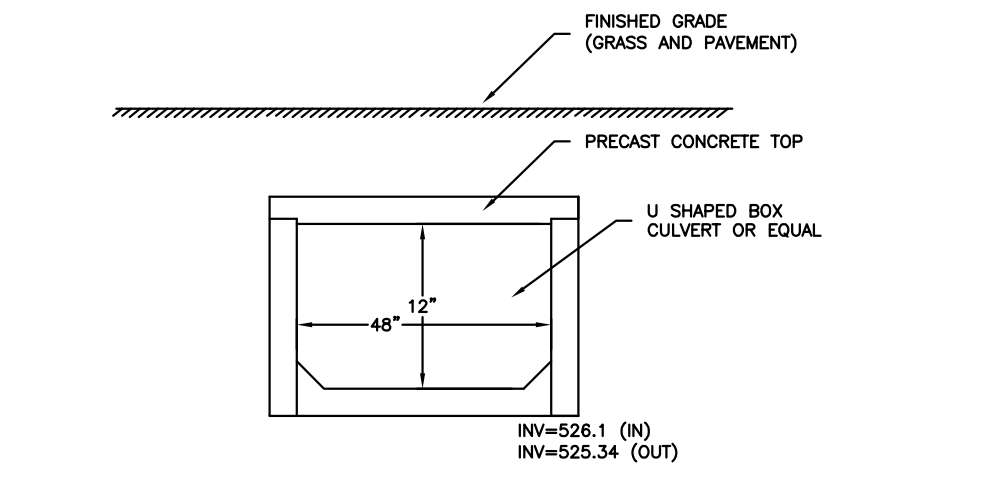
OUTLET STRUCTURE (SOUTHERLY STORMWATER BASIN)
(NOT TO SCALE)



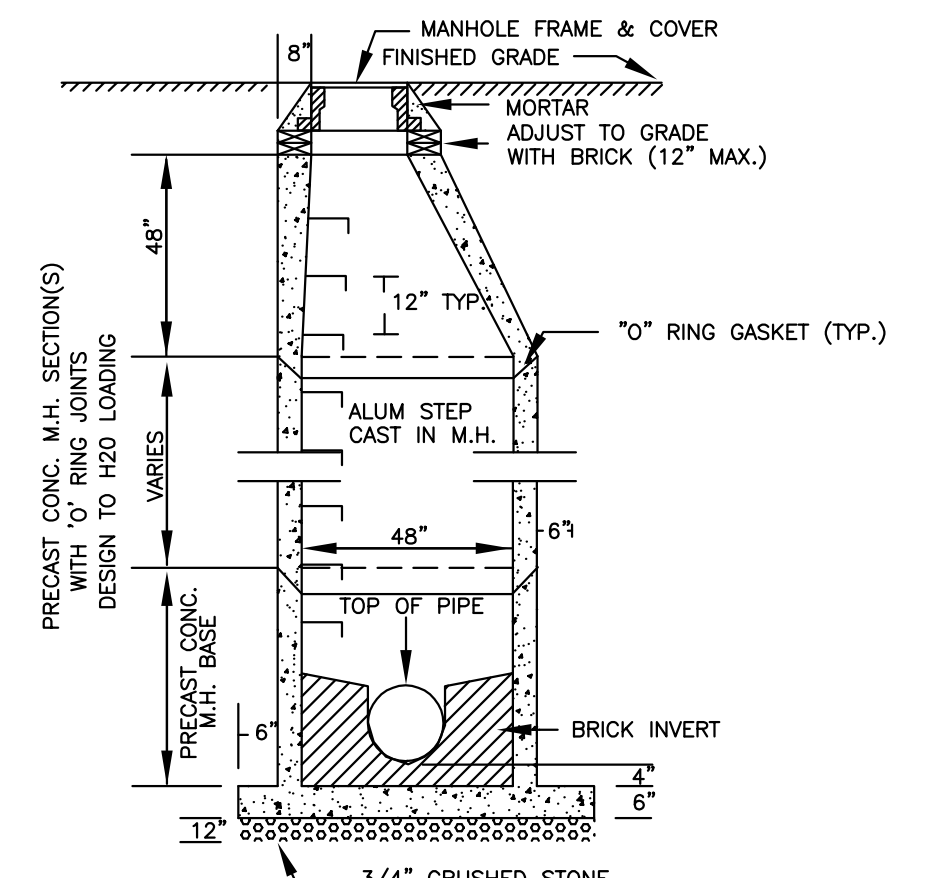
MONOLITHIC SIDEWALK DETAIL



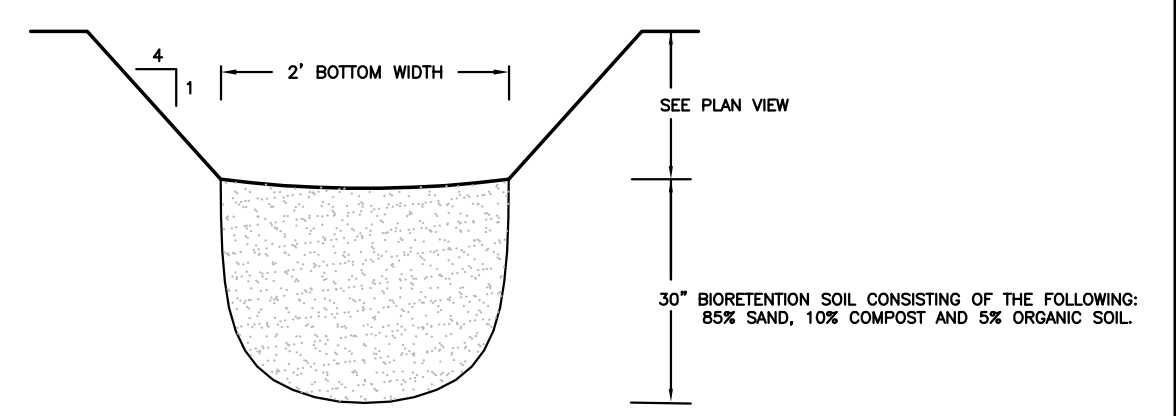
DUMPSTER PAD DETAIL
NOT TO SCALE



H-20 BOX CULVERT DETAIL

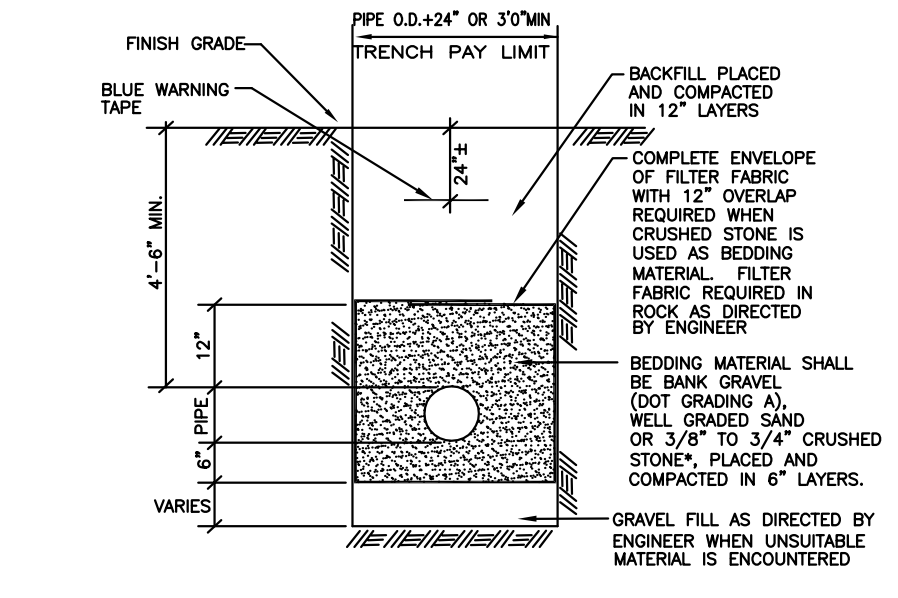


TYPICAL PRECAST MANHOLE DETAIL
NOTE: MANHOLE MFG IN ACCORDANCE WITH A.S.T.M.-C-478

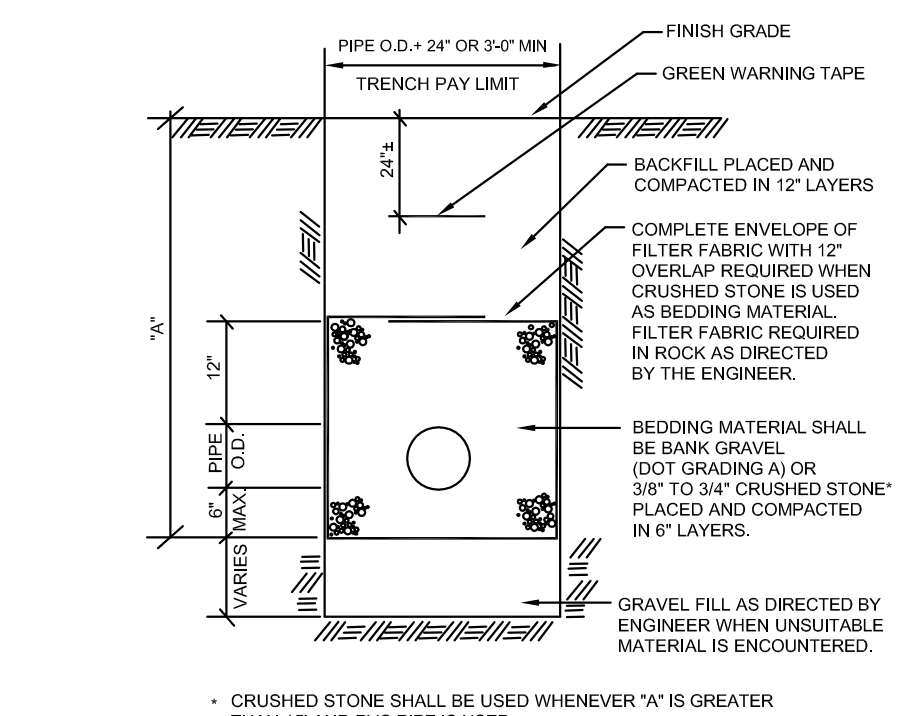


- CONSTRUCTION AND MAINTENANCE REQUIREMENTS:**
- THE AREA OF THE FACILITY SHALL BE FENCED OFF DURING THE CONSTRUCTION PERIOD TO PREVENT DISTURBANCE OF SOILS.
 - THE DESIGN ENGINEER SHALL OVERSEE THE PREPARATION OF THE AREA AND THE INSTALLATION OF THE VARIOUS COMPONENTS OF THE ORGANIC FILTER SYSTEM (GRAVEL STORAGE ZONE, AND MEDIA TREATMENT ZONE, IF INCLUDED IN THE DESIGN).
 - THE DESIGN ENGINEER SHALL PROVIDE A CERTIFICATION THAT THE SYSTEM WAS DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS FOUND IN THE DESIGN MANUAL AND INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS.
 - THE SWALE SHALL BE INSPECTED ANNUALLY AND AFTER STORMS GREATER THAN 1-YEAR, 24-HOUR STORM EVENT.
 - REMOVAL OF SEDIMENT, WHEN ACCUMULATION EXCEEDS 25% OF THE WQV STORAGE VOLUME.
 - VEGETATION SHALL BE MOWED AS NECESSARY TO MAINTAIN 4-6" HEIGHT. WOODY VEGETATION SHALL BE REMOVED FROM THE DRY SWALE.
 - IF PONDED WATER IS REGULARLY OBSERVED MORE THAN 48 HOURS AFTER A RAINFALL EVENT, THEN THE SURFACE SHALL BE ROTO-TILLED TO A DEPTH OF 12" AND RESEDED.

DRY GRASS-LINED SWALE



TYPICAL TRENCH DETAIL (WATER)
N.T.S.



TYPICAL TRENCH DETAIL (SAN. SEWER)
N.T.S.

CONSTRUCTION DETAILS			
PREPARED FOR SCOT & VALERIE ROGERS			
ELEMENTS CAR WASH			
131 MERROW ROAD			
TOLLAND, CONNECTICUT			
REVISIONS		GARDNER & PETERSON ASSOCIATES, LLC	
04-24-2019		178 HARTFORD TURNPIKE	
05-09-2019		TOLLAND, CONNECTICUT	
05-17-2019 IWC COMMENTS		PROFESSIONAL ENGINEERS LAND SURVEYORS	
07-01-2019		BY	
07-15-2019 STAFF COMMENTS		SCALE	
07-18-2019		DATE	
		04-01-2019	
		SHEET NO.	
		5 OF 5	
		MAP NO.	
		8172 R	

Filename: 131 Merrow Road Site Lighting - Tolland.AGI

Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
[Symbol]	2	SL2	SINGLE	5994	49	0.900	Lithonia DSX0 LED P2 40K T2M MVOLT SPA DBLXD - SSS 15 4C DM19AS DBLXD 15FT POLE
[Symbol]	3	SL5-2	BACK-BACK	6195	49	0.900	Lithonia DSX0 LED P2 40K T5W MVOLT SPA DBLXD - SSS 15 4C DM28AS DBLXD 15FT POLE

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.35	3.6	0.0	N.A.	N.A.
CAR WASH EXIT + PARKING	Illuminance	Fc	1.23	3.6	0.2	6.15	18.00
ENTRY DRIVE + ACCESS	Illuminance	Fc	1.08	3.1	0.2	5.40	15.50
REAR ACCESS ROAD	Illuminance	Fc	1.33	3.0	0.1	13.30	30.00

Design By:
Greg Loda
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email Address : gloda@lightingaffiliates.com

APPROXIMATE LOCATION EXISTING TREES TO REMAIN NEAR WETLANDS

- 26" SWAMP MAPLE
- 30" SWAMP MAPLE
- 25" SWAMP MAPLE
- 20" SWAMP MAPLE
- 28" SWAMP MAPLE
- 28" SWAMP MAPLE
- 24" SWAMP MAPLE
- 20" SWAMP MAPLE
- 20" SWAMP MAPLE
- 28" SWAMP MAPLE
- 16" SWAMP MAPLE
- 32" SWAMP MAPLE
- 14" SWAMP MAPLE
- 22" SWAMP MAPLE
- 28" SWAMP MAPLE
- GROUP OF WHITE BIRCHES (4-6")
- 20" SWAMP MAPLE
- 20" SHAGBARK HICKORY
- 20" SHELLBARK HICKORY
- 28" WHITE OAK
- 15" SWAMP MAPLE
- 12" SWAMP MAPLE
- 40" WHITE PINE
- 16" SWAMP MAPLE
- 16" SWAMP MAPLE
- 16" SHAGBARK HICKORY
- 22" SWAMP MAPLE
- 14" SWAMP MAPLE
- 24" SWAMP MAPLE

APPROXIMATE LOCATION OF SHADE TREES WITHIN 100' UPLAND REVIEW AREA TO BE REMOVED

30. SWAMP MAPLE CLUMP(4) 12",14",12",9"
31. 40" SWAMP MAPLE

PLANTING SCHEDULE

Symbol Code	Name/ Scientific Name	Size	Quantity
[Symbol]	AGER X FREEMENII 'JEFFERSRED'/ AUTUMN BLAZE RED MAPLE	2 1/2" - 3" CAL.	10
[Symbol]	MALUS X ZUMI CALDCARPA/ ZUMI CRABAPPLE	8 - 10"	2
[Symbol]	AMELANCHIER CANADENSIS/ SHADBLOW	8 - 10"	3
[Symbol]	MYRICA PENNSYLVANICUM/ BAYBERRY	2 GAL.	4
[Symbol]	JUNIPERUS CHIN. PFITZ. COMPACTUM/ COMPACT PFITZER JUNIPER	2 GAL.	15
[Symbol]	JUNIPERUS VIRGINIANA/ RED CEDAR	8 - 10"	2
[Symbol]	SPIRAEA BUMALDA 'ANTHONY WATERER'/ SPIREA	2 GAL.	5
[Symbol]	HEMEROCALLIS SPP./ DAYLILLY	2 GAL.	17

Design By:
By: John Alexopoulos
CT License No. 550
16 Storrs Heights Road
Storrs, CT 06268

LOW MOW GRASS MIX:
25% Hard Fescue
50% Chewing Fescue
15% Creeping Red Fescue
10% Kentucky Bluegrass

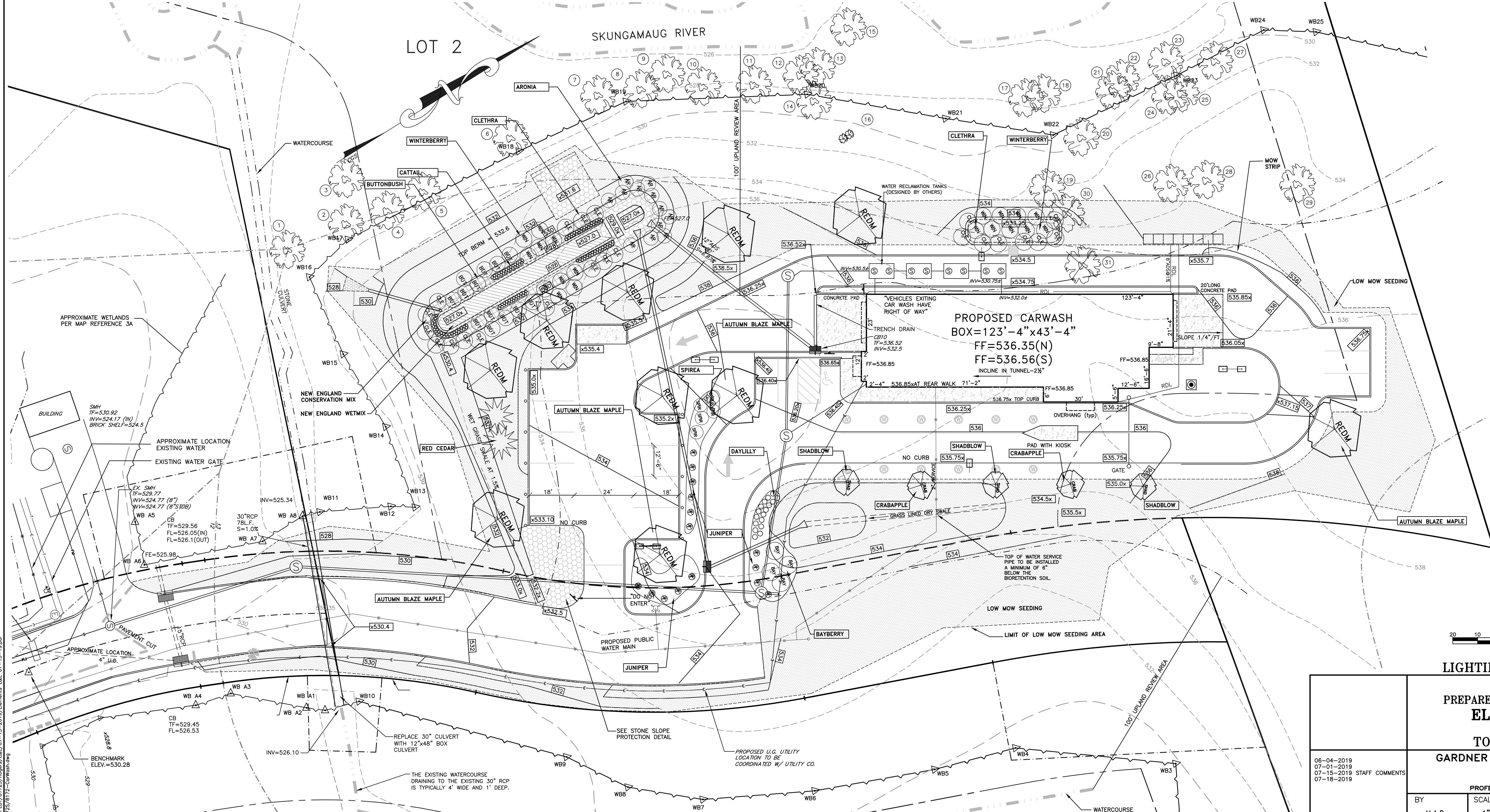
MOW STRIP GRASS MIX:
50% Diva Kentucky Bluegrass
25% Viking H2O Hard Fescue
25% Deschutes Perennial Ryegrass

BOTTOM STORMWATER BASIN:
New England Wetmix
New England Wetland Plants, Inc. Amherst, MA

SIDESLOPE OF STORMWATER BASIN:
New England Conservation Mix
New England Wetland Plants, Inc. Amherst, MA

PLANTING SCHEDULE -- BIORETENTION BASIN & WET BASIN

Symbol Code	Name/ Scientific Name	Quantity
[Symbol]	ARDNIA ARBUTIFOLIA/ ARDNIA	2 GAL.
[Symbol]	CLETHRA ALNIFOLIA/ SUMMERSWEET CLETHRA	2 GAL.
[Symbol]	CEPHALANTHUS OCCIDENTALIS/ BUTTONBUSH	2 GAL.
[Symbol]	ILEX VERTICILLATA/ WINTERBERRY	2 GAL.
[Symbol]	TYPHUS SPP./ CATTAIL	SPACE 1' APART, PLUGS
[Symbol]	PLANT 142	



LEGEND

PROPERTY BOUNDARY	[Symbol]
BUILDING SETBACK	[Symbol]
EXISTING EASEMENT	[Symbol]
EXISTING IRON PIN/PIPE	[Symbol]
EXISTING CONTOUR	[Symbol]
PROPOSED CONTOUR	[Symbol]
EXISTING ELEVATION	[Symbol]
PROPOSED ELEVATION	[Symbol]
SOILS LINE	[Symbol]
INLAND WETLAND	[Symbol]
TREE LINE	[Symbol]
STONE WALL	[Symbol]
TEST HOLE	[Symbol]
EXISTING CATCH BASIN	[Symbol]
EXISTING DRAINAGE	[Symbol]
EXISTING GRAVITY SEWER	[Symbol]
EXISTING SEWER FORCE MAIN	[Symbol]
EXISTING WATER / SHUT-OFF	[Symbol]
EXISTING UNDERGROUND TELECOMM.	[Symbol]
EXISTING UNDERGROUND ELECTRIC	[Symbol]
EXISTING OVERHEAD WIRES	[Symbol]
EXISTING UTILITY POLE	[Symbol]
PROPOSED LIGHT	[Symbol]
ROL - ROOF DRAIN LEADER	[Symbol]
PROPOSED GEOTHERMAL WELL	[Symbol]
LOW MOW AREA	[Symbol]
EXISTING TREE TO REMAIN	[Symbol]

GRAPHIC SCALE 1"=20'

LIGHTING & LANDSCAPING PLAN

SITE PLAN
PREPARED FOR SCOT & VALERIE ROGERS
ELEMENTS CAR WASH
131 MERROW ROAD
TOLLAND, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT
PROFESSIONAL ENGINEERS LAND SURVEYORS

06-04-2019
07-01-2019
07-15-2019 STAFF COMMENTS
07-18-2019

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=20'	05-01-2019	1 OF 1	8172 L



TOWN of TOLLAND/ 21 Tolland Green, Tolland, Connecticut 06084

MEMO

TO: Planning and Zoning Commission

FROM: David Corcoran, AICP, Director of Planning & Development

DATE: December 5, 2023

RE: **PZC #23-16 Zoning Regulation and Map Amendment**- Request to revise Article 11 – Technology Campus Zone and Article 14 – Table of Uses to rename the zone to Tolland Commercial Zone, revise its purpose, and expand the list of allowable uses. Revisions also proposed to Sections 1-2, 8-1, 11A-1 and 19-2.G and the Zoning Map to reflect the new name of the TCZ. Applicant: Town of Tolland.

The Planning and Zoning Commission is proposing a revision the Technology Campus Zone (TCZ), based on outcomes identified in the 2019 POCD and further reflected in discussions with prospective developers and applicants who own property in or are interested in re-locating to the TCZ.

The Technology Campus Zone was originally formed in 2013 following studies which indicated Tolland would be well-positioned to absorb growth in the technology and industrial sectors from expansion at the University of Connecticut. The intention of this zone was to spur large-scale redevelopment of the area under the guise of a unified Technology Campus with the following principles:

1. Emulate a campus form with multiple buildings sharing parking and other amenities
2. Encourage coordinated development between property owners
3. Protect natural resources
4. Promote sustainable design
5. Provide pedestrian connections and pathways

Since 2013, the Town has seen no new development in the Technology Campus Zone. The TCZ contains much of the Town’s remained undeveloped or underdeveloped land which has easy access to water and sewer infrastructure. In the 2019 Plan of Conservation and Development, the Town identified that it should:

“...modify / re-adapt its approaches to the TVA and TCZ based on the experiences of the last decade and input during the update of this Plan. Given the need for and market for multi-family housing, the Town should determine if the TCZ might be ripe for mixed uses. For this zone, the Commission could update regulations to allow a flexible Master Plan approach to commercial, industrial, and mixed-use development. Such modification should focus on creating flexibility for development and quality of site design and architecture.”

In 2021, the Planning and Zoning Commission adopted a “Master Plan Overlay Zone” to allow for increased development in the TCZ. The Master Plan Overlay Zone (MPOZ) allows for a larger-scale developer to create

a floating zone within the TCZ with its own set of allowable uses and dimensional requirements, allowing for expedited land use approvals after a conceptual design is approved by the Planning and Zoning Commission. While no developers have taken advantage of this yet, it appears to be a viable tool to support larger scale development. However, this does not support smaller-scale development or occupancy in existing structures within the TCZ, as the allowable land uses in the TCZ without entering the MPOZ process remain limited to technology and industrial-related uses.

Following public participation on October 16, 2023 and further discussion on October 30, 2023 and November 27, 2023, the Commission identified some possible changes to the allowable uses and tentatively decided to rename the Technology Campus Zone to the “Tolland Commercial Zone.” The attached documents show a second draft of proposed changes to the TCZ to align with the intent to encourage economic development in the zone.

The proposed changes would:

- Rename the Technology Campus Zone to “Tolland Commercial Zone”
- Expand the list of allowable uses to allow for more permitted activity, including more land uses that allowed by Site Plan instead of Special Permit
- Impose a requirement for a Special Permit for any development greater than 50,000 square feet.
- Create a set of design guidelines to provide clarity to developers for aesthetics and function in the Tolland Commercial Zone, continuing to encourage larger-scale, integrated development.

**Legal Notice
Public Hearing**

Tolland Planning & Zoning Commission

The Tolland Planning & Zoning Commission will hold a Public Hearing on Monday, December 11, 2023, commencing at 7:00 p.m., to hear and discuss the following:

1. **PZC #23-15 – 131 Merrow Road** –Request for a Special Permit Modification to allow a minor change in the building footprint with a new architectural style and minor site adjustments. Zone: Gateway Design District (GDD) Applicant: Elements Car Wash.
2. **PZC #23-16 Zoning Regulation and Map Amendment**- Request to revise Article 11 – Technology Campus Zone and Article 14 – Table of Uses to rename the zone to Tolland Commercial Zone, revise its purpose, and expand the list of allowable uses. Revisions also proposed to Sections 1-2, 8-1, 11A-1 and 19-2.G and the Zoning Map to reflect the new name of the TCZ. Applicant: Town of Tolland.

Copies of these applications are on file and available for review in the Planning & Building Department at 21 Tolland Green, Tolland, CT.

To be advertised twice in the Journal Inquirer: Wednesday, November 29, 2023
Thursday, December 7, 2023

P&Z #:



**TOWN OF TOLLAND
APPLICATION TO AMEND REGULATIONS**

Please attach the full text of the proposed changes, edits, amendments, and new text that you are proposing.

Which document are you proposing to amend?	
<input checked="" type="checkbox"/> Zoning Regulations	<input type="checkbox"/> Wetlands Regulations
<input type="checkbox"/> Subdivision Regulations	<input type="checkbox"/> Plan of Conservation & Development

List all sections of the regulations that you propose to amend or add text to:
Article 11 - Technology Campus Zone & Zoning Map
Article 14 - Table of Uses
Sections 1-2, 8-1, 11A-1, 19-2.G

Describe the purpose for these proposed changes:
Rename the Technology Campus Zone to "Tolland Commercial Zone" and revise the purpose of the zone and expand allowable uses within the Zone.

Describe how this request is consistent with the Tolland Plan of Conservation and Development:
D.1: Modify or re-adapt approaches in the TCZ

Applicant Information	
Applicant Name:	Town of Tolland
Mailing Address:	21 Tolland Green, Tolland CT 06084
Phone Number:	860-871-3601
Email Address:	dcorcoran@tolland.org

(Over)

All of the above statements and the statements contained in any documents and plans submitted herewith are true to the best of my knowledge:

Applicant Signature: David Corcoran Date: 11/28/2023

Please note:

1. If also proposing to amend the Zoning Map, a separate Map Amendment Form and fee must be submitted.
2. The fee of \$300.00 plus a \$60.00 State fee must be submitted to be considered a complete application.

OFFICE USE ONLY

Fee Amount:	_____	Approved:	_____
Form of Payment:	_____	Approval Date:	_____
Date Submitted: (stamp)		Effective Date:	_____

Article 11: Tolland Commercial Zone~~Technology Campus Zone~~ (TCZ)

Section 11-1. Purpose

The purpose of the ~~Technology Campus Zone~~Tolland Commercial Zone (TCZ) is to ~~position Tolland to benefit from economic activities anticipated at the planned University of Connecticut Technology Park. This zone allows uses that support or complement the Technology Park in a manner that fits with Tolland's character and is consistent with the Plan of Conservation and Development.~~attract economic development into the community.

New development in the TCZ should:

- A. ~~Emulate a campus form with multiple buildings sharing parking and other amenities and buildings generally facing internal drives and roads.~~Promote medium and large scale commercial and light industrial development with design standards to ensure consistency with the general architectural forms of the Town.
- B. Result in a minimal number of driveways on Merrow Road through access management and the use of shared driveways and parking areas.
- C. Encourage property owners to coordinate development.
- D. Protect important natural resources, especially surface and groundwater.
- E. Promote sustainable design, high performance buildings and "green" technology.
- F. Provide pedestrian connections and pathways within and between properties.
- ~~F.—G.~~ Promotes economic development that benefits from the zone's proximity to the University of Connecticut.
- ~~G.—Promote economic development that complements the UCONN Technology Park and technology corridor.~~
- H. Protect air quality and; water quality, ~~and the overall character~~ of Merrow Road and neighboring areas.

Section 11-2. Uses

The allowable uses for this zoning district are designated in Article 14, Commercial and Industrial Uses, Section 14-2. Table of Allowable Uses. Existing uses or structures in the TCZ that are conforming as of

June 30, 2013 shall be considered conforming uses and structures after June 30, 2013 and may have extensions, alterations or changes provided no other zoning regulations are violated.

Section 11-3. Special Permit Standards

In addition to the standards for approval for Special Permits contained in Section 20-8, the Commission shall consider the following:

- A. Site layout, placement and height of buildings, landscaping or retention of existing vegetation to mitigate visual impacts as viewed from Merrow Road and Rhodes Road.
- B. Curb cuts along Merrow Road that are the minimum necessary to provide adequate access to the site.
- C. Site layout ~~emulates a campus-style setting to the degree feasible with~~ promotes shared amenities, shared parking and interconnections using sidewalks or pathways.

Section 11-4. Requirements

A. Dimensional Requirements

1. Minimum lot area for newly-created lots: 5 (five) acres. Lot area may be reduced to 2 (two) acres by Special Permit provided a plan showing the potential for integrated development with proposed and potential building sites and multi-modal connectivity has been approved.
2. Minimum lot frontage for newly-created lots: 200 feet. Frontage of two or more lots which share a single driveway entrance and single driveway exit to a public street may be computed as a single frontage.
3. Minimum front yard setback: 50 feet. The setback for frontage along a public road built after the effective date of these regulations and along private roads may be reduced if the applicant demonstrates a lesser setback better accomplishes the purpose of this zone.
4. Minimum rear yard setback: 35 feet. The Commission may reduce this if rear yard wholly abuts property located in the TCZ.
5. Minimum side yard setback: 35 feet. The Commission may reduce this if side yard wholly abuts property located in the TCZ.
- 5-6. Maximum building size: 50,000 square feet. The Commission may approve a larger building by special permit.
- 6-7. Maximum building height: two and a half (2.5) stories or 38 feet, whichever is greater.
Three (3) stories may be approved under the following conditions:

- a. The building's visibility from Merrow Road and from adjacent residential zones is sufficiently buffered by vegetation or topography so that it is no more visible than a two story building and,
- b. The building is set back a minimum of 300 feet from the property line along Merrow Road.

~~0.~~ 8. Maximum lot coverage: 50 percent. The Commission may approve up to 60% impervious coverage in instances when special attention has been given to utilizing landscape areas for low impact development stormwater treatment and/or green roof technology.

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E. B. Buffers/Siting

- 1. Depending on the overall site design, and where otherwise practicable, buildings should be sited toward the front of the lot and should maintain a pleasing spatial relationship with other buildings and public and interior-access roadways.
- 2. Structures should be sited in small groups wherever feasible.
- 3. The use of additive massing (the bulk of the building is broken into smaller sections and horizontally offset) to provide visual interest is desired.
- 4. All effort should be made to preserve and enhance historic structures, unique landforms, rock outcrops, stone walls, vegetation, views, etc. and incorporate them into site design.
- 5. Driveway access points shall be landscaped while maintaining safe sight lines.
- 6. The design of the storm water treatment system shall contain strategies associated with low impact development to the maximum extent possible (MEP) as outlined in the Town of Tolland Design Manual. This provision shall also apply to improvements or redevelopment of existing commercial sites. If stormwater detention/retention basins are necessary, provisions shall be made for shared structures and shared maintenance to the maximum extent feasible.

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~~0.~~ The development of the site shall conserve as much of the existing vegetation as possible. Vegetation in setback areas may be removed only as part of an approved Special Permit and Site Plan.

~~0.~~ Driveway access points shall be landscaped and buffered from view from residential zones as much as possible while maintaining safe sight lines.

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H. C. Access and Circulation

1. Access management will be required on all sites, in order to reduce the number of driveway cuts onto adjacent roads and mitigate the deterioration of traffic flow generally caused by driveways on public roads. Access management techniques will include shared driveways (or provisions for future shared driveways for the first site in the area) or interconnected driveways.
2. Use shared parking with abutting properties wherever feasible.
3. Provide safe, convenient pedestrian circulation, which also provides access to off-site sidewalks, trails, parks and other public places.

I-D. Parking

1. Parking requirements shall be in accordance with the provisions of Section 19-1.
2. Parking areas shall not be located within the front yard setback.
3. Locate large parking areas at the side or rear of building where practical with landscaping designed to create visual assets.

E. Architectural Guidelines

The purpose of these architectural guidelines is to provide insight regarding Tolland's design objectives, to encourage aesthetically pleasing commercial and light industrial structures, to reduce massive scale and uniform impersonal appearance, and to provide visual interest for newly-constructed buildings.

1. Facades.

- a. No uninterrupted length of any facade shall exceed 100 feet and shall incorporate wall plane projections or recesses.
- b. The ground floor facade facing a public street should incorporate display windows, awnings or other such features to create visual interest.
- c. Windows should be recessed and should include visually prominent sills, shutters or other such forms of framing.
- d. All building facades that are visible from a public street should be attractively designed with windows and other architectural elements so that no visible elevations look like the back of a building.

2. Roofs.

- a. Variations in roof lines should be used to add interest and complement the character of the Town.

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b. Rooftop equipment such as HVAC units shall be screened from public view with parapets featuring three dimensional cornice treatments.

3. Materials, colors and detail features.

a. Building facades should include a repeating pattern including color, texture or change of materials.

b. Predominant exterior building materials should be high quality materials such as brick, wood, sandstone and other native stone or tinted textured, concrete masonry units.

c. Facade colors should be low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors, metallic colors, black or fluorescent colors is discouraged.

d. Predominant exterior building materials should not include smooth-faced concrete block or pre-fabricated steel panels.

4. Use creative landscaping design, with plantings of sufficient size and quantity to clearly enhance the site.

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3.

J-F. Other Requirements

1. All businesses shall conform to the environmental and performance standards in Section 19-7 of these regulations.
2. High performance water systems and fixtures designed to eliminate unnecessary use, including outside use of water shall be utilized, including grey water systems.
3. Uses shall be located entirely within enclosed structures, except for approved outdoor recreation areas and docking areas necessary for receipt of supply deliveries.
4. Stormwater management shall comply with goals and standards in the Tolland Low Impact Development Design Manual.

Article 14: Commercial and Industrial Uses

Section 14-1 Allowable Uses

The table in Section 14-2 identifies those uses permitted within each of the commercial and industrial zoning district. All commercial and industrial uses, developments, and new construction, except as explicitly stated otherwise, require site plan approval by the Commission. Any use not expressly permitted by these Regulations shall be prohibited unless the Commission, upon request by an applicant, makes a determination of similar use (that the use is similar to uses permitted in the zone). In addition, the Commission retains the right to determine if any use meets the intent of the regulations.

Section 14-2 Table of Uses

P = Permitted – Site Plan	SP = Special Permit	--- = Prohibited
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Retail, Personal, & Professional Service Uses	TVA-GD	NCZ-G	NCZ-T	CCZ	GDD	TCZ	MPOZ -TCZ	CIZ-A	CIZ-B	TBP
Retail & Service Establishment	P	P	P	P	P	SPP	P	P	P	---
Retail & Service Establishments – Over 20,000 sf.	SP	---	---	SP	P	SPP	P	P	P	---
Financial Institution	P	P	P	P	P	SPP	P	P	P	---
Drive-Thru Service – Pharmacy & Financial Institutions	P	P	P	P	P	P	P	P	P	---
Child & Adult Day-Care Centers, or Group Day-Care Homes.	---	P	P	P	P	P	P	SP	SP	---
Veterinary Hospital (without outdoor animals)	SP	P	P	P	P	P	P	P	P	P
Veterinary Hospital, Commercial Kennels & Stables (5-acre min.)	---	---	---	P	---	---	SP	---	---	---
Laundromat (public sewer required)	P	P	P	P	P	P	P	P	P	---
Self-Storage Facility	---	P	P	P	---	---	SP	P	P	---
Roadside stand, regional.	---	P	P	P	P	---	P	P	P	---
Funeral Home	---	SP	SP	SP	SP	---	SP	---	---	---
Adult-Oriented Establishment	---	---	---	---	SP	---	---	---	---	---

Hospitality Uses	TVA-GD	NCZ-G	NCZ-T	CCZ	GDD	TCZ	MPOZ-TCZ	CIZ-A	CIZ-B	TBP
Restaurant (without liquor sales)	P	P	P	P	P	SPP	P	P	P	P
Restaurant (with liquor sales)	P	SP	SP	SP	P	SPP	P	P	P	P
Drive-Thru Service – Fast Food & Fast-Casual	SP ¹	---	---	SP	SP	---	P	SP	---	---
Restaurant – Brewpub (public sewer required)	P	---	---	---	P	P	P	SP	---	SP
Micro-Brewery, Micro-Distillery, or Micro-Winery (public sewer required)	SP	---	---	SP	SP	P	P	SP	---	P
Brewery, Distillery, or Winery (public sewer required)	---	---	---	---	---	P	P	SP	---	P
Hotel (internal access guest rooms)	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP
Bed & Breakfast Establishment	P	P	P	P	SP	SP	SP	P	P	---
Retail Food Service Establishment	P	P	P	P	P	P	P	P	P	---
Catering Facilities	SP	P	P	P	SP	P	P	---	P	P
Banquet Facilities	SP	SP	SP	SP	SP	P	P	---	---	SP
Commercial/Shared Kitchen	P	P	P	P	P	P	P	---	P	P

¹Drive-Thru Service is only allowed by Special Permit in the TVA-GD provided that such facility is in accordance with Section 16-5 of the Zoning Regulations and further provided that such restaurant exists at its current location as of October 19, 2020 or when included as part of a Master Plan Overlay Zone application.

Commercial Office Uses	TVA-GD	NCZ-G	NCZ-T	CCZ	GDD	TCZ	MPOZ-TCZ	CIZ-A	CIZ-B	TBP
Office (Professional & General)	P	P	P	P	P	P	P	P	P	P
Office (Medical)	SP	SP	SP	SP	SP	SPP	P	P	P	SP

Commercial Laboratory & R&D Uses	TVA-GD	NCZ-G	NCZ-T	CCZ	GDD	TCZ	MPOZ-TCZ	CIZ-A	CIZ-B	TBP
Medical, Dental, & Optical Laboratory	---	---	---	---	---	P	P	P	P	P
Laboratory (Research, Experimental, & Development)	---	---	---	---	---	P	P	P	P	P
Technology or Computer-Based Facilities (Data Processing Center)	--	---	---	---	---	P	P	P	P	P
Manufacturing (Biotechnology, Medical, & Pharmaceutical)	---	---	---	---	---	SPP	SPP	SP	SP	SP
Educational, Scientific, & Research Activity	---	---	---	---	---	P	P	P	P	P
Training and/or Conference Center	SP	SP	SP	SP	SP	SPP	P	SP	SP	SP
Licensed Cannabis Retailer and Hybrid Retailer	P	P	P	P	P	SP	P	P	P	---
Licensed Cannabis Micro-Cultivator Facilities	---	---	---	---	---	SP	SP	SP	SP	SP
Licensed Cannabis Cultivator Facilities	---	---	---	---	---	SP	SP	SP	SP	SP
Licensed Medical Marijuana – Dispensary	P	P	P	P	P	SP	P	P	P	---
Licensed Medical Marijuana Production Facility	---	---	---	---	---	SP	SP	SP	SP	SP

Residential & Mixed-Use Developments	TVA-GD	NCZ-G	NCZ-T	CCZ	GDD	TCZ	MPOZ-TCZ	CIZ-A	CIZ-B	TBP
Single-Family Residential	---	---	---	SP	---	---	---	---	---	---
Mixed Use – Residential	SP	SP	SP	SP	SP	SP	SP	---	SP	---
Multi-Family Residential	SP	SP	SP	SP	SP	---	SP	---	---	---

Institutional, Public, & Recreational Uses	TVA-GD	NCZ-G	NCZ-T	CCZ	GDD	TCZ	MPOZ-TCZ	CIZ-A	CIZ-B	TBP
Cultural Institution, Art or Music Center, & Museum	P	P	P	P	P	---	---	P	P	---
Public & General Assembly	SP	SP	SP	SP	SP		---	---	---	---
Places of Worship & Religious Institution	P	P	P	P	P	P	P	P	P	SP
Utilities – Public/Private: Structures, Substation, or Office	SP	SP	SP	SP	SP	SP	SP	SP	SP	SP
School – Private	---	---	---	P	---	SP	P	SP	SP	---
Hospital, Nursing or Convalescent Facility	---	---	---	P	---	---	---	---	---	---
Assisted Living Facility	---	SP	---	---	SP	---	---	---	---	---
Club	SP	---	---	---	---	---	---	P	P	---
Commercial Recreation Facilities	---	SP	SP	SP	SP	-P	-P	SP	SP	SP

Automotive Uses	TVA-GD	NCZ-G	NCZ-T	CCZ	GDD	TCZ	MPOZ-TCZ	CIZ-A	CIZ-B	TBP
Motor Vehicle Sales (licensed by State)	---	---	SP	---	SP	---	---	SP	SP	---
Trailer & Recreational Vehicles Sales	---	---	SP	SP	---	---	---	SP	SP	---
Motor Vehicle Repair (licensed by State)	---	---	SP	SP	P	---	---	SP	SP	---
Gasoline Station & Convenience Store	SP	---	SP	---	SP	---	---	SP	SP	---
Gasoline Station/Convenience Store – Drive Thru	---	---	---	---	SP	---	---	---	---	---
Car Wash	---	---	---	---	SP	---	---	SP	SP	---
Parking Facilities (public/private parking serving off-premises)	SP	---	---	---	---	---	---	---	---	---

Agriculture & Natural Resources	TVA-GD	NCZ-G	NCZ-T	CCZ	GDD	TCZ	MPOZ-TCZ	CIZ-A	CIZ-B	TBP
Agriculture, Nurseries, Forestry, Forest Management *	P	P	P	P	P	P	P	P	P	P
Excavation and/or Removal of Earth Products; Filling Operations	---	---	---	---	SP	---	---	SP	SP	---
Excavation – Pre-Development Site Grading	SP	---	---	---	SP	SP	SP	SP	SP	SP
Solar Array – Ground Mounted as a principal use	---	---	---	---	---	---	---	SP	SP	SP

*No Site Plan required to conduct Agriculture, Nurseries, Forestry or Forest Management

Industrial & Manufacturing Uses	TVA-GD	NCZ-G	NCZ-T	CCZ	GDD	TCZ	MPOZ-TCZ	CIZ-A	CIZ-B	TBP
Manufacturing	---	---	---	---	---	P	P	P	P	P
Wholesaling, Warehousing, or Storage	---	---	---	---	---	SP	SP	SP	SP	P
Distribution Center	---	---	---	---	---	---	---	SP	SP	SP
Transportation Facility	---	---	---	---	---	---	---	P	P	---
Printing, Lithography, Photocopy/Graphic Arts Services; Publishing.	---	---	---	---	---	P	P	SP	SP	P
Heavy Equipment – Repair or Restoration	---	---	---	---	---	---	---	---	---	SP
Building Supply – Contractors	---	---	---	---	---	P	P	SP	SP	SP
Building Supply – Public Wholesale	---	---	---	---	---	---	---	SP	SP	SP
Contractor's Materials, Supplies, Equipment, Service, & Storage.	---	---	---	---	---	---	---	SP	SP	SP

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Section 1-2. Zones and Map

A. Zones

1. Residential Design District	RDD
2. Village Center Zone	VCZ
3. Tolland Village Area	TVA
4. Neighborhood Commercial Zone - G	NCZ-G
5. Neighborhood Commercial Zone-T	NCZ-T
6. Community Commercial Zone	CCZ
7. Gateway Design District	GDD
8. Technology Campus Zone <u>Tolland Commercial Zone</u>	TCZ
9. Commercial / Industrial Zone	CIZ
10. Tolland Business Park	TBP
11. Aquifer Protection Overlay Zone	APO
12. Flood Plain/Stream Belt	FP/SB

Section 8-1. Purpose

B. Neighborhood Commercial Zone T (NCZ-T)

The purpose of the Neighborhood Commercial Zone-T is to provide for smaller scale, less intense commercial and office uses which will serve as a transition between the ~~Technology Campus Zone~~Tolland Commercial Zone and residential areas.

Section 11A-1 Purpose and Intent

The intent and purpose of the Master Plan Overlay Zone (MPOZ) is to create a flexible zoning mechanism designed to enable the land area within the designated areas or zoning districts to be developed in a responsible and efficient manner consistent with the Plan of Conservation and Development. The MPOZ requires the submission and approval of a conceptual master plan as part of the zone change application. The MPOZ can be utilized for any property or properties located within the ~~Technology Campus Zone~~Tolland Commercial Zone (TCZ) and the Tolland Village Area (TVA-GD). The MPOZ is proposed to create comprehensively designed site developments, including industrial, commercial, multi-family residential, and mixed-use developments. When the MPOZ is applied to a parcel or parcels of land, the underlying zoning designation remain intact and existing

properties are not required to utilize the MPOZ designation and related provisions and requirements, unless specifically stated.













Section 19-2.G Freestanding Sign Location and Height

Zone	Maximum Height Freestanding	Maximum Height Freestanding Low Profile	Setback From Front Property Line	Setback from Side/Rear Property Line
Residential Design District (RDD)	8 feet	4 feet	10 feet	10 feet
Village Center Zone (VCZ)	8 feet	4 feet	10 feet	10 feet
Neighborhood Commercial Zone (NCZ)	10 feet	4 feet	10 feet	10 feet
Commercial / Industrial Zone (CIZ)	10 feet	4 feet	10 feet	10 feet
Gateway Design District (GDD)	10 feet	4 feet	10 feet	10 feet
Tolland Business Park (TBP)	10 feet	4 feet	10 feet	10 feet
Tolland Village Area (TVA)	8 feet	4 feet	10 feet	10 feet
Community Commercial Zone (CCZ)	8 feet	4 feet	10 feet	10 feet
Technology Campus Zone <u>Tolland Commercial Zone</u> (TCZ)	10 feet	4 feet	10 feet	10 feet





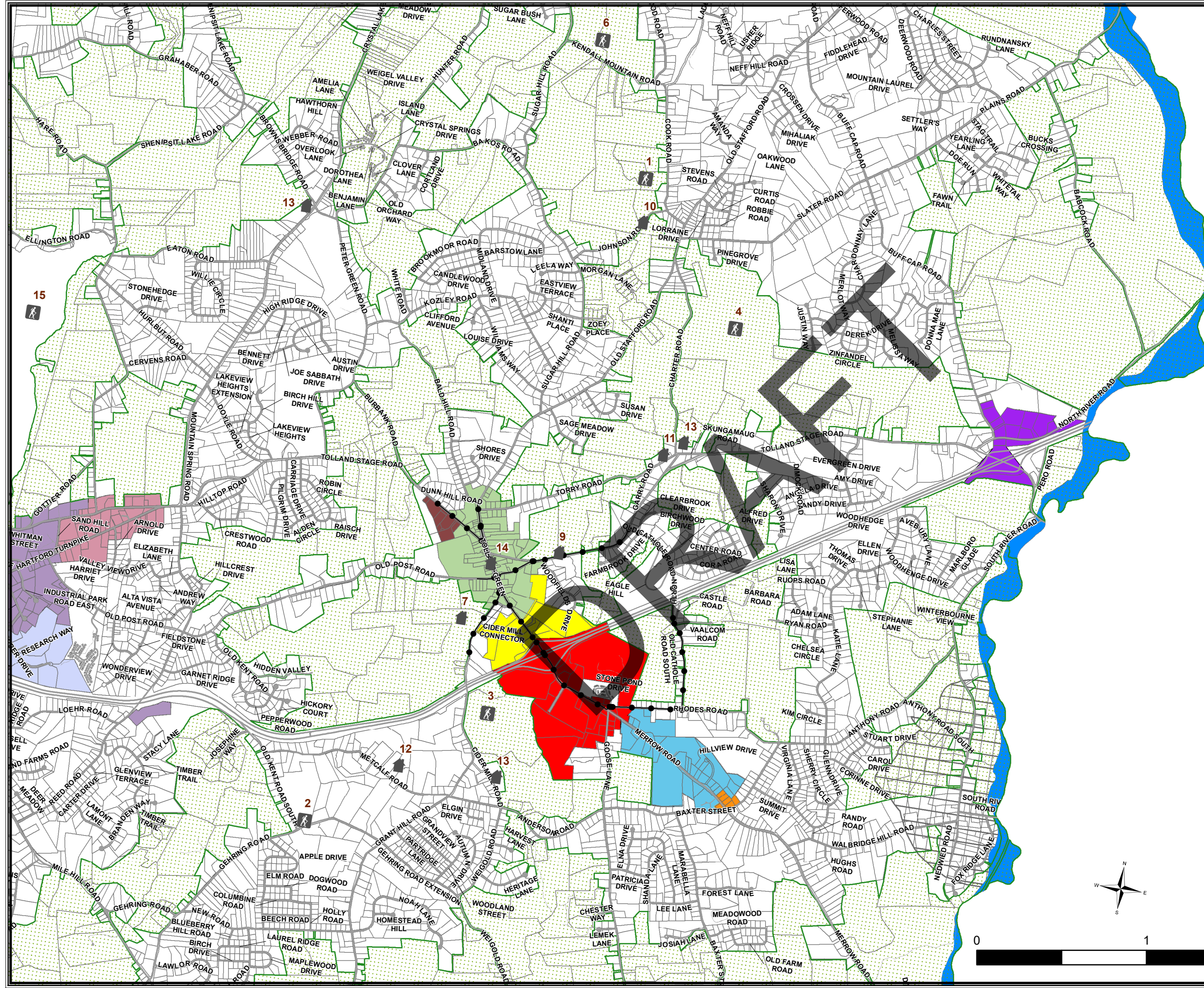
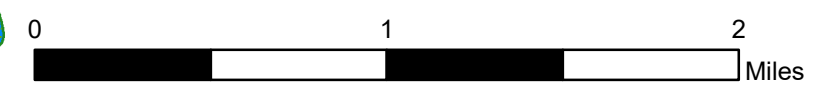
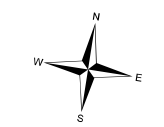
Zoning Map, Town of Tolland, CT

Zoning

-  Residential Design District (RDD)
-  Village Center Zone (VCZ)
-  Gateway Design District (GDD)
-  Tolland Village Area (TVA)
-  Community Commercial Zone (CCZ)
-  Neighborhood Commercial Zone-G (NCZ-G)
-  Neighborhood Commercial Zone-T (NCZ-T)
-  Commercial Industrial Zone - A (CIZ-A)
-  Commercial Industrial Zone - B (CIZ-B)
-  Tolland Commercial Zone (TCZ)
-  Tolland Business Park (TBP)
-  Natural Resource Protection Area (within RDD)
-  State Aquifer Protection Area
-  Flood Plain / Stream Belt
-  Town Center Pathway Area

Historic and Conservation Sites

-  CONSERVATION SITE
 -  HISTORIC SITE
1. Pulpit Rock
 2. Settlers Rock
 3. Tolland Marsh
 4. Charter Marsh
 5. Cedar Swamp
 6. Kendall Mtn. Cliff
 7. Animal Pound
 8. Donkeyville Mill
 9. Silk Mill
 10. Brook's Mill Dam
 11. Skungamaug Village
 12. Benton Homestead
 13. Historic portions of cemeteries
 14. Tolland Green Historic District
 15. Shenipsit Lake





**TOWN OF TOLLAND
APPLICATION FOR A PERMANENT SIGN**

ZONING PERMIT

Property Information

Property Address: 52 RHODES Rd TOLLAND Ct 06084
 Property Owner: SAMI KHAN
 Zone: _____ Map/Block/Lot: _____

Applicant Information

Applicant Name: SAMI KHAN
 Business Name: KID ACADEMY
 Phone Number: 860 992 6681 Email Address: RSAMIKHAN@YAHOO.COM

Information to Determine Compliance with Regulations

Type of Sign (per 19-2.D of the Zoning Regulations): _____
 Square Footage: _____ Height (if freestanding): _____
 Lighting (check): Internal Indirect Halo Channel None

Please submit the following with this form:

1. Written permission from the property owner for erecting the proposed sign.
2. A sketch showing dimensions of the sign and information to determine that the proposed sign complies with Section 19-2 of the Zoning Regulations.
3. For a free-standing sign, a plot plan showing the proposed location and distance to front, side and rear property lines.
4. The fee in the amount of \$25.00 must be submitted to be considered a complete application.

Signature: *[Signature]* Date: 11.28.2023

OFFICE USE ONLY

Is approval by Planning and Zoning Commission required? _____
 (if yes, add date of approval or denial)

Fee Amount: \$25.00 Approved: _____
 Form of Payment: _____ Approval Date: _____
 Date Submitted: _____ Comments: _____
 (stamp)

CLBP
Ø 18820

EXIST. BIT. CURB

ROAD

RHODES

EXIST. EDGE OF PAVEMENT

C.B.

N - 81° - 54' - 49" - W

200.00'

I.P. HELD

Exit

53.42'

50' BUILDING LINE

44.00'

32.00'

66.36'

1.50'

S - 08° - 00' - 00" - W
218.10'

46 RHODES ROAD

25' SIDE YARD

26.00'

1.50'

46.00'

1.50'

26.00'

4.00'

EXISTING FOUNDATION LOCATED ON 12/06/04
T.F. = 110.40

22.00'

36.00'

35' REAR YARD

25' SIDE YARD

PARCEL AREA = 43,590 SQ. FT.

200.00'

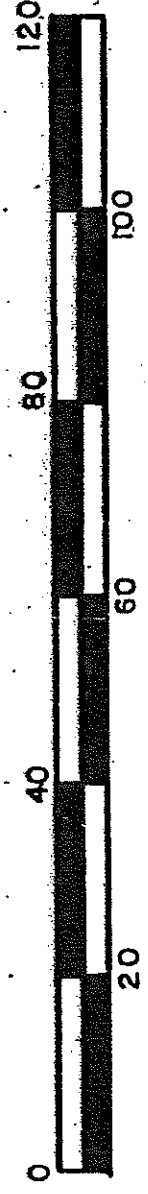
2.28'

I.P. 1.30'

DISTURBED I.P. FOUND POINT WAS RECREATED

S - 82° - 00' - 00" - E

N/F KANEHL



After deposit, all projects include 2 free proof revisions, thereafter billed at our hourly design rate.

Sign Details: 36" x 72" Post & Panel Sign



PR43-K



PR22-K



PR12-H



PR30-K



PR46-K



PR34-K



PR25-K



DP26-K



Date: **11-27-23**

Client: **Kids Academy**
Client Phone: **860-992-6651**
Email: **rsamikhan@me.com**

Designer: **Andy**

Materials Used:
PVC

Fonts:
Balloon / Helvetica Med.

Project Location:
Tolland, CT

Production Notes:
N/A

Vinyl Material:
Orafol Printed Vinyl

Substrate:
PVC

Molding: **N/A**

File Name:
KidsAcademy01.plt

File Location:
D:/!Jobs!/K/Kids Academy

X _____ Date: _____

Please print, sign, date and return to signs@biancasigns.com

Approved

Approved Pending Revisions

Revise and Resubmit

Revision#

Please review proof carefully. Check that all spelling, punctuation phone numbers, dimensions and colors are correct prior to approval. Any changes made after approval may be subject to additional charges.

Planning and Zoning Two Month Look Ahead

Meeting Date	Upcoming Items			
Monday, January 8, 2024	Goals for upcoming year			
Monday, January 22, 2024				
Monday, February 12, 2024				
Monday, February 26, 2024				

KEY

- TO BE RECEIVED
- HEARINGS
- NEW/OLD BUSINESS
- OTHER

Future Items:

Tue Dec 5, 2023

9am - 12pm Facilitation Basics Training - Virtual - 2 Days - NOW FULL

Where: Link will be provided after registration
Calendar: CT Land Use Commissioner Training
Created by: david.dickson@uconn.edu

Wed Dec 6, 2023

9am - 12pm Facilitation Basics Training - Virtual - 2 Days - NOW FULL

Where: Link will be provided after registration
Calendar: CT Land Use Commissioner Training
Created by: david.dickson@uconn.edu

Sat Dec 9, 2023

9am - 3pm Land Use Commissioner Advanced Training at CLEAR - In-person - FULL

Where: UConn Extension - Middlesex County Extension Center, 1066 Saybrook Rd, Haddam, CT 06438, USA
Calendar: CT Land Use Commissioner Training
Created by: david.dickson@uconn.edu

Mon Dec 11, 2023

1pm - 2pm

UConn CLEAR Land Use Academy Basic Training - Legal Requirements & Procedures, Roles & Responsibilities - Virtual/online

Calendar: CT Land Use Commissioner Training
Created by: david.dickson@uconn.edu

2pm - 3pm

Addressing the nation's housing crisis: Where will our children and grandchildren live? - Virtual/online

Calendar: CT Land Use Commissioner Training
Created by: david.dickson@uconn.edu

**PLANNING & ZONING COMMISSION
TOLLAND, CONNECTICUT
REGULAR MEETING MINUTES OF NOVEMBER 27, 2023**

MEMBERS PRESENT: Andy Powell, Chair
Marilee Beebe, Vice Chair (attended remotely)
Joe Matteis
Erin Stavens

OTHERS PRESENT: David Corcoran, Director of Planning & Development
Public

1. **Call to Order:** Andy Powell, Chair, called the meeting to order at 7:03 p.m. in Council Chambers.
2. **Pledge of Allegiance:** Recited.
3. **Election of Officers:** Mr. Powell stepped down from the Chair position and turned the meeting over to Vice Chair, Marilee Beebe. Ms. Beebe entertained motions for nominations for the Chair position.

MOTION: Erin Stavens/Joe Matteis to nominate Andy Powell for PZC Chair. Ms. Stavens, Mr. Matteis, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

Ms. Beebe turned the meeting back over to Mr. Powell. Mr. Powell entertained motions for nominations for the Vice Chair position.

MOTION: Joe Matteis/Erin Stavens to nominate Marilee Beebe for Vice Chair. Mr. Matteis, Ms. Stavens, Mr. Powell, and Ms. Beebe voted in favor. Motion carried.

Mr. Powell entertained motions for nominations for the Secretary position.

MOTION: Erin Stavens/Joe Matteis to nominate Jason Philbin for Secretary. Ms. Stavens, Mr. Matteis, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

4. **Seating of Alternates:** Mr. Powell noted that Alternates have not yet been sworn in by the Town Council, so cannot at this time participate. However, he recognized expected Alternates Amanda Hickey and Brian Mead as being in the audience.
5. **Additions to Agenda:** None.
6. **Public Comment:** None.
7. **Public Hearing(s):** None.
8. **Old Business:** None.

9. New Business

- 9.1 TCZ Discussion – Mr. Corcoran provided a recap. He noted the PZC has been discussing reworking the Technology Campus Zone for a couple of months now, possibly renaming it “Tolland Commercial Zone.”

In October, members of the business community and other were invited to a meeting to provide feedback on what they would like this zone to look like. From that conversation, he put together the suggested changes. The purpose of the zone was broadened with a goal to attract high quality, attractive, economic development, preferably larger scale development and to continue to encourage access management. The list of allowed uses was broadened. Most of the dimensional requirements remained the same. Some new design guidelines and standards were added that they hope will be helpful for developers.

He reviewed some of the modifications to the Table of Allowed Uses noting many are allowed by site plan. This should help make some properties more marketable.

There were no comments from the Commission. The discussion was opened to public comment. Local realtor Mark Riesbeck asked if laboratory space is a permitted use. Mr. Powell said it is. There had been discussion at the previous meeting whether or not this should require a Special Permit, but the Commission agreed to make it a permitted use. Mr. Corcoran noted one caveat--that any building over 50,000 square feet in the TCZ will require a Special Permit.

Mr. Matteis discussed Page 5 under the former “Buffer” heading, Item 5. He asked what was being referenced in this item. Mr. Corcoran said he envisioned if there is a long driveway into a complex, if there is an adjacent residential property, then at some point a buffer will need to be started. However, the buffer does not necessarily have to extend all the way to the road. Mr. Matteis said he felt that regulations that can’t be enforced should not be included. After some further discussion, there was agreement to reword Item 5 to read: *Driveway access points shall be landscaped while maintaining safe sight lines.*

Mr. Riesbeck asked when these zone changes would officially take effect. Mr. Corcoran said if everyone is good with the new proposal, then they can set a public hearing date for December 11. Mr. Riesbeck said he liked the changes and felt they will help him better market his property.

MOTION: Joe Matteis/Erin Stavens to set the public hearing for proposed changes to the TCZ for December 11, 2023. Ms. Stavens, Mr. Matteis, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

- 9.2 Approve 2024 Meeting Schedule – The Commission reviewed the meeting schedule, noting there will be only one meeting in November, 2024. Ms. Stavens questioned whether or not they might want to cancel the December 23 meeting, as it is so close to Christmas. After a short discussion, it was agreed to leave it on the calendar and cancel it if need be when the date gets closer.

MOTION: Joe Matteis/Erin Stavens to approve the 2024 Meeting Schedule as written. Mr. Matteis, Ms. Stavens, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

- 9.3 **PZC #23-15 – 131 Merrow Road** – Request for a Special Permit Modification to allow a minor change in the building footprint with a new architectural style and minor site adjustments. Zone: Gateway Design District (GDD). Applicant: Elements Car Wash. *Receive and set Public Hearing for Monday, December 11, 2023.*

November 27, 2023 – Tolland Planning & Zoning Commission

Ms. Beebe recused herself from this agenda item.

Mr. Corcoran asked that because the applicant is modifying the exterior, does the Commission want him to refer it back to the Design Advisory Board (DAB) for their input? He said it is not required. Mr. Matteis asked what size the modification would be. Mr. Corcoran said it would be 100 to 200 square feet maximum. The applicant wants to make the building a bit narrower and a bit longer. Mr. Matteis said the rendering of the building looks nice. After a short discussion, the Commission agreed that a DAB review would not be necessary in this case.

MOTION: Erin Stavens/Joe Matteis to receive and set the Public Hearing for PZC #23-15 for December 11, 2023. Ms. Stavens, Mr. Matteis and Mr. Powell voted in favor. Motion carried.

10. Reports

10.1 Town Council Liaison – No report.

10.2 Economic Development Liaison – No report.

10.3 Capitol Region Council of Governments – No report

10.4 Zoning Enforcement Report – Mr. Corcoran said things have been quiet. They still have the ongoing issue with the woodchips on a property off Goose Lane and the Inland Wetlands Commission is still working on it.

Mr. Powell asked if there was any update on the quarry. Mr. Corcoran said it is still inactive. The owner is looking for a tenant or trying to sell it. If and when they are ready to start quarrying again, they will first need to submit an annual map.

Mr. Corcoran said the CollegeView foreclosure auction was pushed back to December. There are a few interested parties, and ideally, once the property is sold, he expects the project to start up again.

Mr. Corcoran also reported that the Girl Scouts are beginning the process on their facility. They are working through the wetlands process. Permits will be issued as they go.

10.5 Planning Update – There will be two public hearings on December 11, 2023.

11. **Other Business:** None.

12. **Correspondence:** None.

13. **Public Participation:** Mr. Riesbeck asked about the December 11 public hearing on the TCZ. He asked if someone is opposed to the proposed changes, will this affect the process? Mr. Powell said it will depend on what the issue is, but the public hearing process allows for more input. It is possible that they could vote on the proposal that same night. Mr. Corcoran noted that there is a 15-day appeal period so they usually make regulation changes effective after that 15-day period.

14. **Approval of Minutes** – October 30, 2023 Regular Meeting

MOTION: Erin Stavens/Joe Matteis to approve the October 30, 2023 Regular Meeting Minutes as written. Ms. Stavens, Mr. Matteis, Ms. Beebe, and Mr. Powell voted in favor. Motion carried.

15. Adjournment

MOTION: Joe Matteis/Erin Stavens to adjourn the meeting and pay the clerk at 7:33 p.m. Ms. Stavens, Mr. Matteis, Ms. Beebe and Mr. Powell voted in favor. Motion carried.

Respectfully submitted,

Annie Gentile
Clerk