

Special Meeting Agenda
Tolland Design Advisory Board
21 Tolland Green, Tolland, Connecticut
Thursday, July 13, 2023 at 7:00 p.m., 2nd floor, Conference Room B

1. Call to Order
2. New Business
3. Old Business
 - 3.1. 33 Fieldstone Commons – Proposed 2,400 sq. ft. restaurant with a drive-through.
Applicant: Prospect Enterprises, LLC
4. Approve Minutes – June 1, 2023 Regular Meeting
5. Other Business
6. Adjournment



May 22, 2023

Ref: 42896.00

David Corcoran, AICP
Director of Planning and Development
Town of Tolland
21 Tolland Green
Tolland, CT 06084

Re: Proposed Starbucks – Fieldstone Commons – Design Advisory Board Submission

Mr. Corcoran,

VHB, on behalf of our Client, Prospect Enterprises, LLC, is pleased to submit the following information and request to be placed on the Design Advisory Board's agenda for June 1, 2023:

- Five (5) copies of a planset prepared by VHB titled, "Proposed Starbucks" dated May 22, 2023. Please note that selected sheets such as the utility plan, site details and the erosion control plan have been excluded from this set
- Five (5) copies of the following architectural plans by BKA Architects dated May 22, 2023:
 - A101 Floor Plan
 - A400 Exterior Elevations
 - E-01 Exterior Elevations dated May 19, 2023

Please let us know if you require additional information in order to be placed on the June 1st agenda or if you have any questions.

Sincerely,

Vanasse Hangen Brustlin, Inc.

A handwritten signature in blue ink that reads "Paul Vitaliano".

Paul Vitaliano, P.E.

CT Director of Land Development
pvitaliano@vhb.com

Engineers | Scientists | Planners | Designers

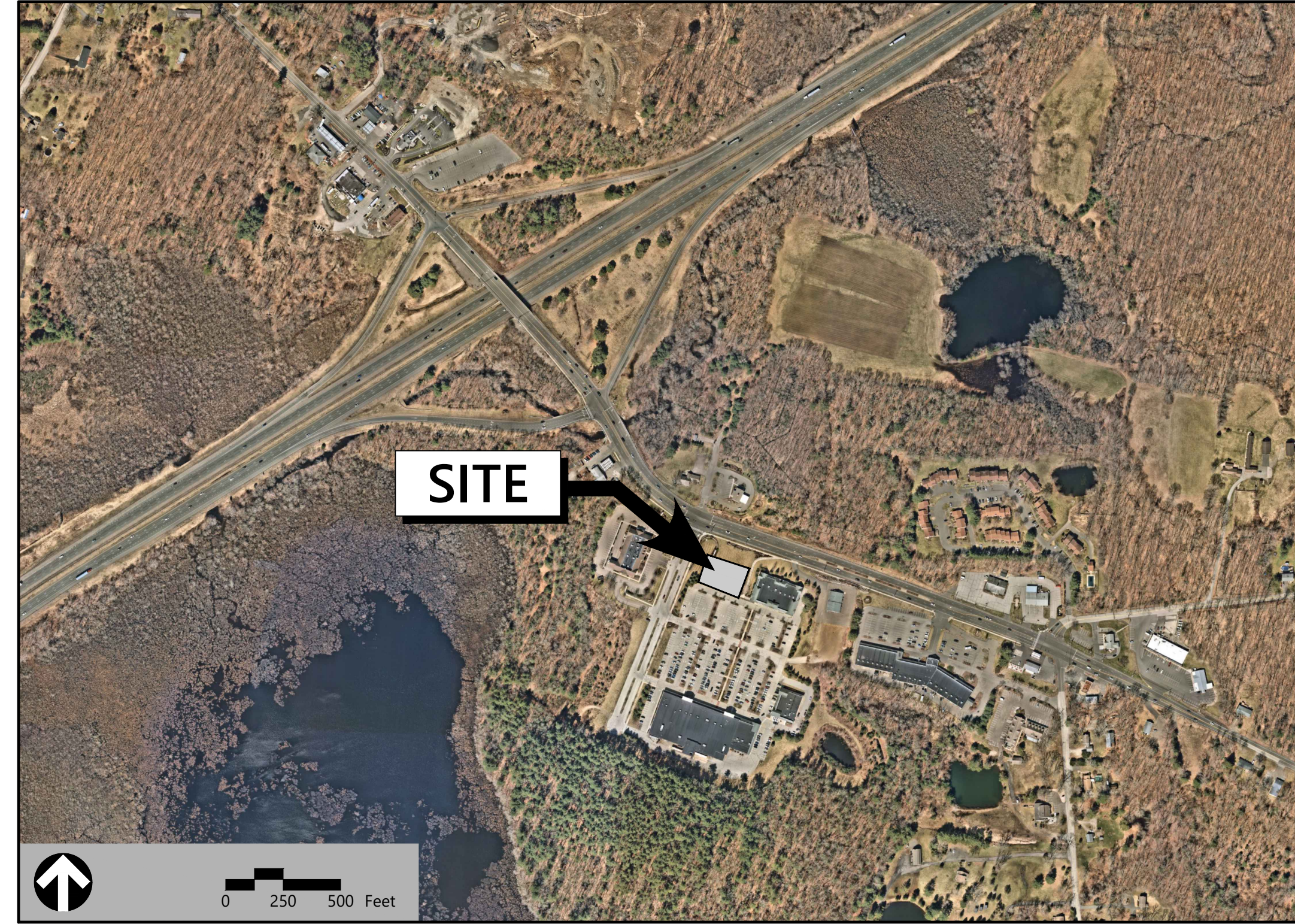
100 Great Meadow Road
Wethersfield, Connecticut 06109
P 860.807.4300
F 860.372.4570

Site Plans

Issued for	Local Approvals
Date Issued	May 22, 2023
Latest Issue	May 22, 2023

Proposed Starbucks

33 Fieldstone Commons
Tolland, Connecticut



Owner

Capitol Ventures LLC
231 Farmington Ave
Farmington, CT
06032

Applicant

Prospect Enterprises, LLC
231 Farmington Ave
Farmington, CT 06032

Assessor's Map: 28
Lot: C2.03

Sheet Index		
No.	Drawing Title	Latest Issue
C-1	Legend and General Notes	May 22, 2023
C-2	Overall Plan	May 22, 2023
C-3	Layout and Materials Plan	May 22, 2023
C-4	Grading and Drainage Plan	May 22, 2023
C-5	Utility Plan	May 22, 2023
C-6	Erosion and Sediment Control Plan	May 22, 2023
C-7	Site Details 1	May 22, 2023
C-8	Site Details 2	May 22, 2023
L-1	Planting Plan	May 22, 2023
L-2	Planting Details	May 22, 2023

Reference Drawings		
No.	Drawing Title	Latest Issue
Sv-1	Property Survey & Topographic Survey	March 14, 2022





100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

Legend

Legend table with columns for Exist. and Prop. symbols and descriptions for various site features like property lines, pavements, buildings, utilities, and landscaping.

Abbreviations

Abbreviations table with columns for General and Utility symbols and descriptions for items like ABAN (Abandon), ACR (Accessible Curb Ramp), and CB (Catch Basin).

Notes

- Notes section containing 14 numbered items detailing construction requirements, safety protocols, utility handling, and site preparation instructions.

Layout and Materials

- Layout and Materials section containing 6 numbered items regarding dimensions, curbing, architectural details, and construction standards.

Demolition

- Demolition section containing 5 numbered items detailing the removal of existing structures, utilities, and site preparation.

Erosion Control

- Erosion Control section containing 4 numbered items detailing measures to prevent soil erosion during construction.

Existing Conditions Information

- Existing Conditions Information section containing 2 numbered items regarding site conditions and survey data.

Document Use

- Document Use section containing 3 numbered items detailing the use of electronic versions, data files, and project features.

Proposed Starbucks

33 Fieldstone Commons
Tolland, Connecticut

Table with columns for No., Revision, Date, and Apprd. for document tracking.

Designed by KE Checked by PV
Issued for Date

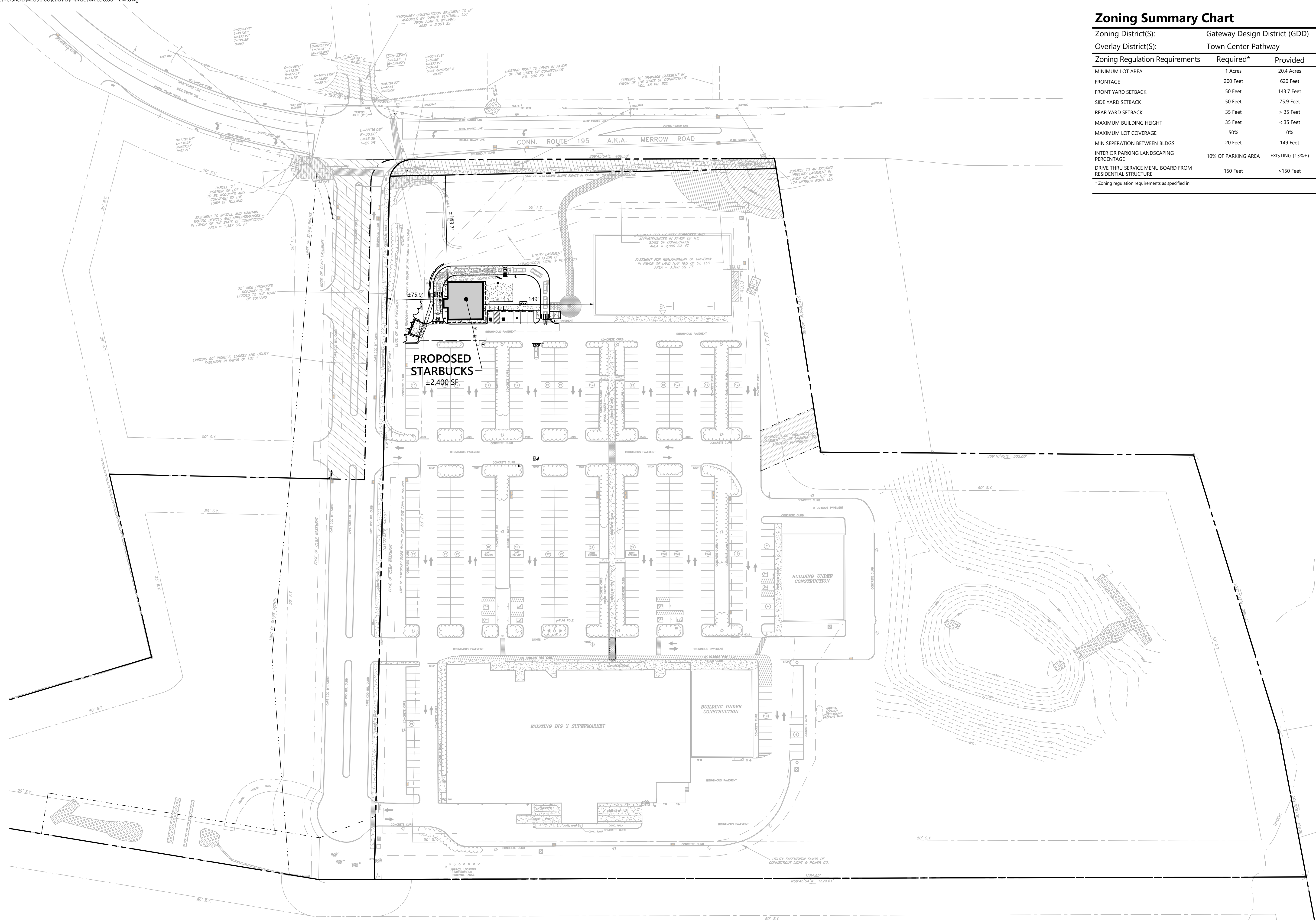
Local Approvals May 22, 2023

Not Approved for Construction

Legend section with a title and a large black box containing the word 'Legend'.



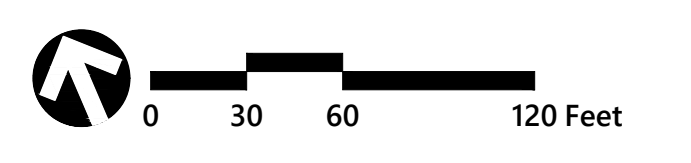
C-1



Zoning Summary Chart

Zoning District(S):	Gateway Design District (GDD)	
Overlay District(S):	Town Center Pathway	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	1 Acres	20.4 Acres
FRONTAGE	200 Feet	620 Feet
FRONT YARD SETBACK	50 Feet	143.7 Feet
SIDE YARD SETBACK	50 Feet	75.9 Feet
REAR YARD SETBACK	35 Feet	> 35 Feet
MAXIMUM BUILDING HEIGHT	35 Feet	< 35 Feet
MAXIMUM LOT COVERAGE	50%	0%
MIN SEPERATION BETWEEN BLDGS	20 Feet	149 Feet
INTERIOR PARKING LANDSCAPING PERCENTAGE	10% OF PARKING AREA	EXISTING (13%±)
DRIVE THRU SERVICE MENU BOARD FROM RESIDENTIAL STRUCTURE	150 Feet	> 150 Feet

* Zoning regulation requirements as specified in



Proposed Starbucks

33 Fieldstone Commons
Tolland, Connecticut

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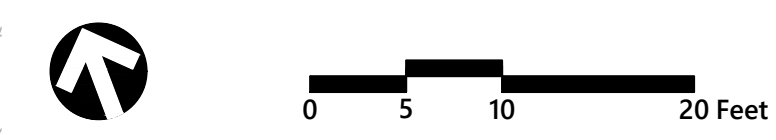
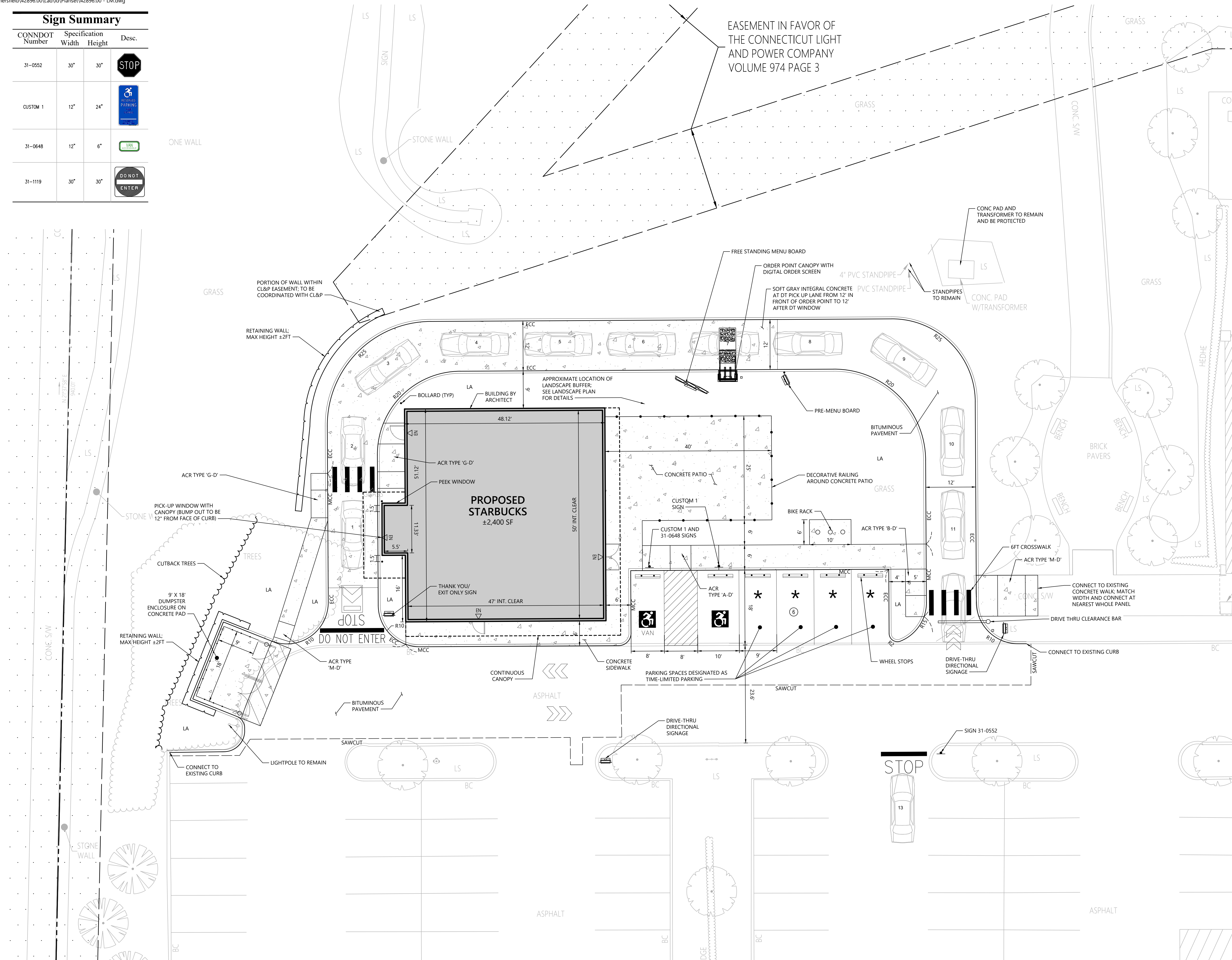
Drawing Title
Overall Site Plan

Drawing Number
C-2



Sign Summary

CONNDOT Number	Specification Width	Specification Height	Desc.
31-0552	30"	30"	
CUSTOM 1	12"	24"	
31-0648	12"	6"	
31-1119	30"	30"	



Proposed Starbucks

33 Fieldstone Commons
Tolland, Connecticut

No.	Revision	Date	Appr.

Designed by: KE Checked by: PV
 Issued for: Date: May 22, 2023

Local Approvals

Not Approved for Construction

Layout and Materials Plan

Drawing Number: **C-3**

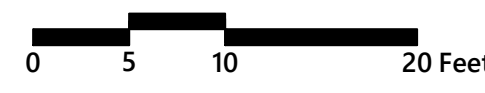
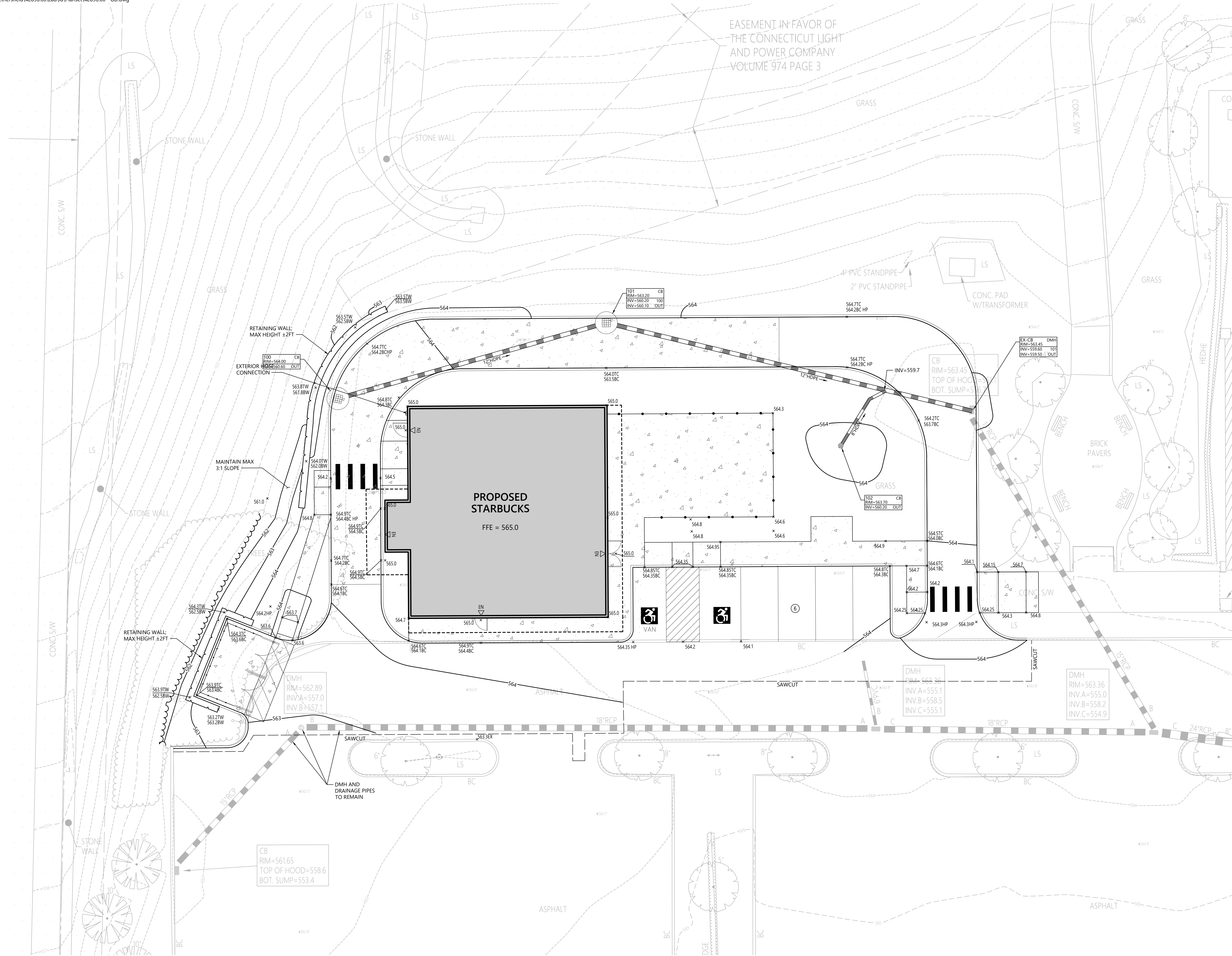
Project Number: 42896.00

Saved Tuesday, January 3, 2023 5:13:23 PM REANNOTTI plotted Wednesday, May 17, 2023 5:51:38 PM Paul Vitaliano

EASEMENT IN FAVOR OF
THE CONNECTICUT LIGHT
AND POWER COMPANY
VOLUME 974 PAGE 3



100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300



Proposed Starbucks

33 Fieldstone Commons
Tolland, Connecticut

No.	Revision	Date	App'd.

Designed by **KE** Checked by **PV**
Issued for **Local Approvals** Date **May 22, 2023**

Not Approved for Construction

**Grading and
Drainage Plan**



C-4

Saved Tuesday, January 3, 2023 12:31:02 PM KEANINOTTI Plotted Wednesday, May 17, 2023 4:12:59 PM Kalliyin Emmeotti



100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

Tree Protection

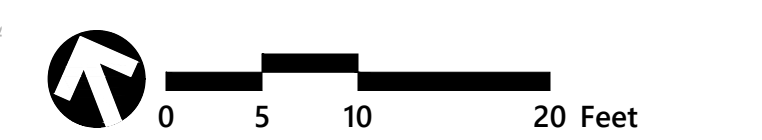
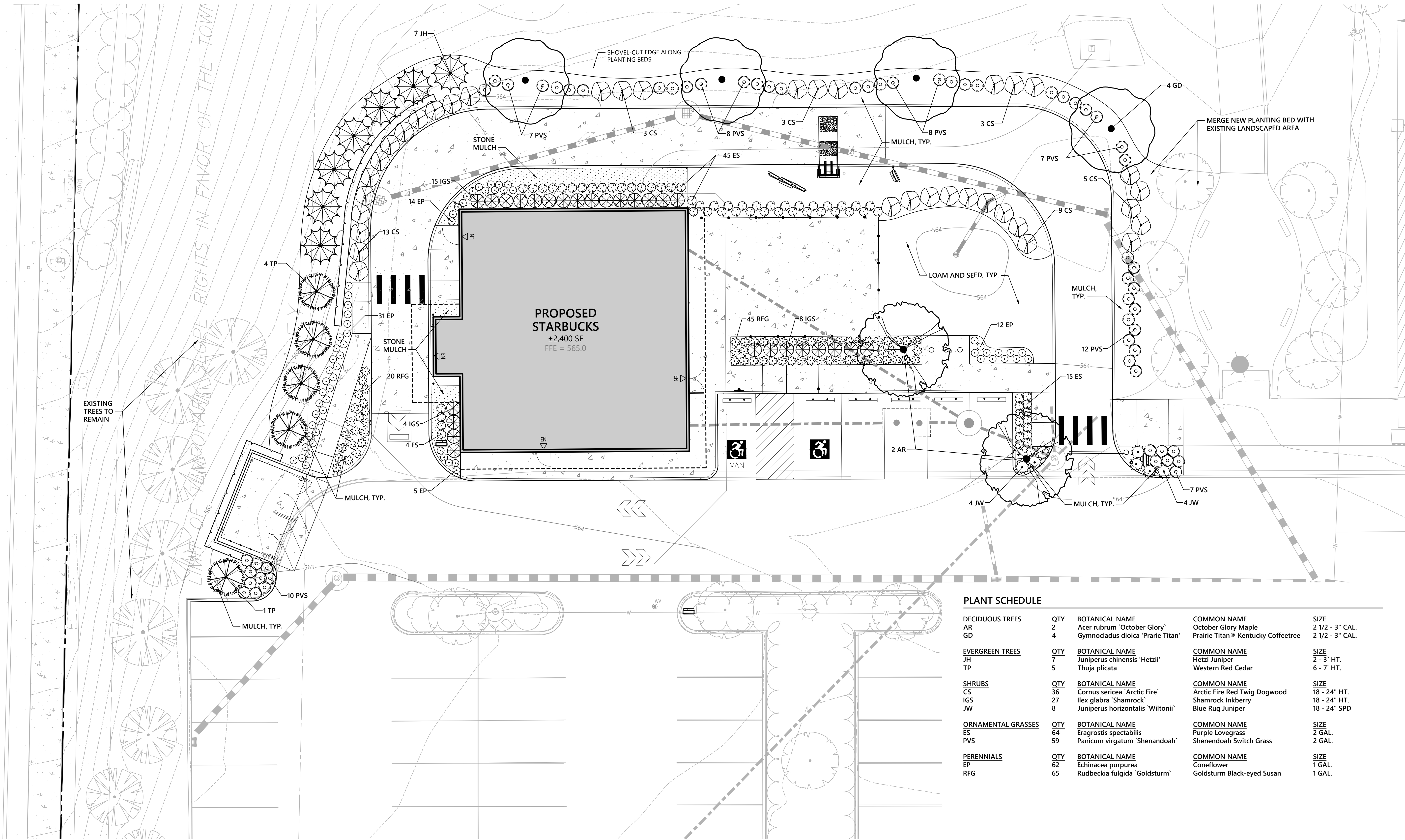
- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIFLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWN AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



Proposed Starbucks
33 Fieldstone Commons
Tolland, Connecticut

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 Issued for: Date: May 22, 2023

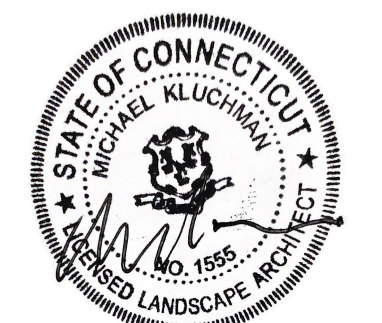
Local Approvals

Not Approved for Construction

Planting Plan

PLANT SCHEDULE

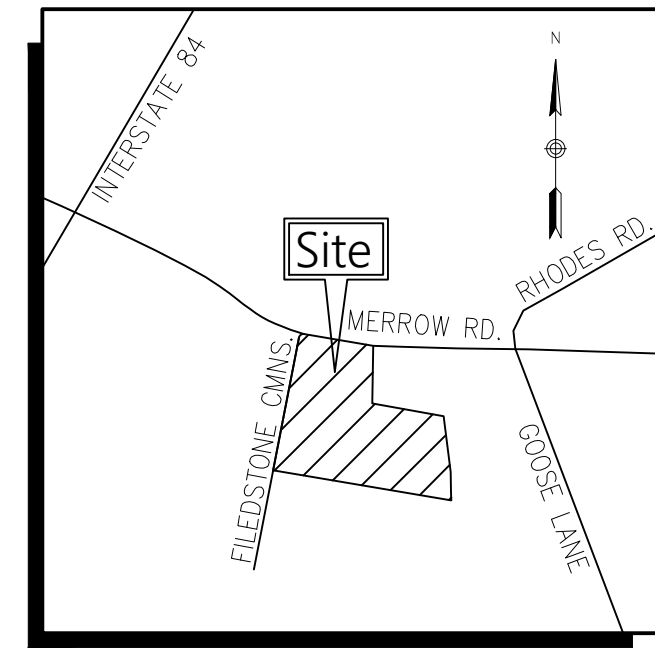
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AR	2	Acer rubrum 'October Glory'	October Glory Maple	2 1/2 - 3" CAL.
GD	4	Gymnocladus dioica 'Prairie Titan'	Prairie Titan® Kentucky Coffeetree	2 1/2 - 3" CAL.
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
JH	7	Juniperus chinensis 'Hetzi'	Hetzi Juniper	2 - 3' HT.
TP	5	Thuja plicata	Western Red Cedar	6 - 7' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CS	36	Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	18 - 24" HT.
IGS	27	Ilex glabra 'Shamrock'	Shamrock Inkberry	18 - 24" HT.
JW	8	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	18 - 24" SPD
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ES	64	Eragrostis spectabilis	Purple Lovegrass	2 GAL.
PVS	59	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 GAL.
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
EP	62	Echinacea purpurea	Coneflower	1 GAL.
RFG	65	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-eyed Susan	1 GAL.



L-1



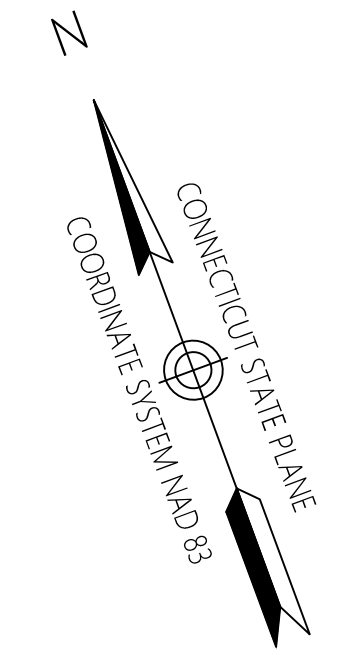
100 Great Meadow Road
Suite 200
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860.807.4300



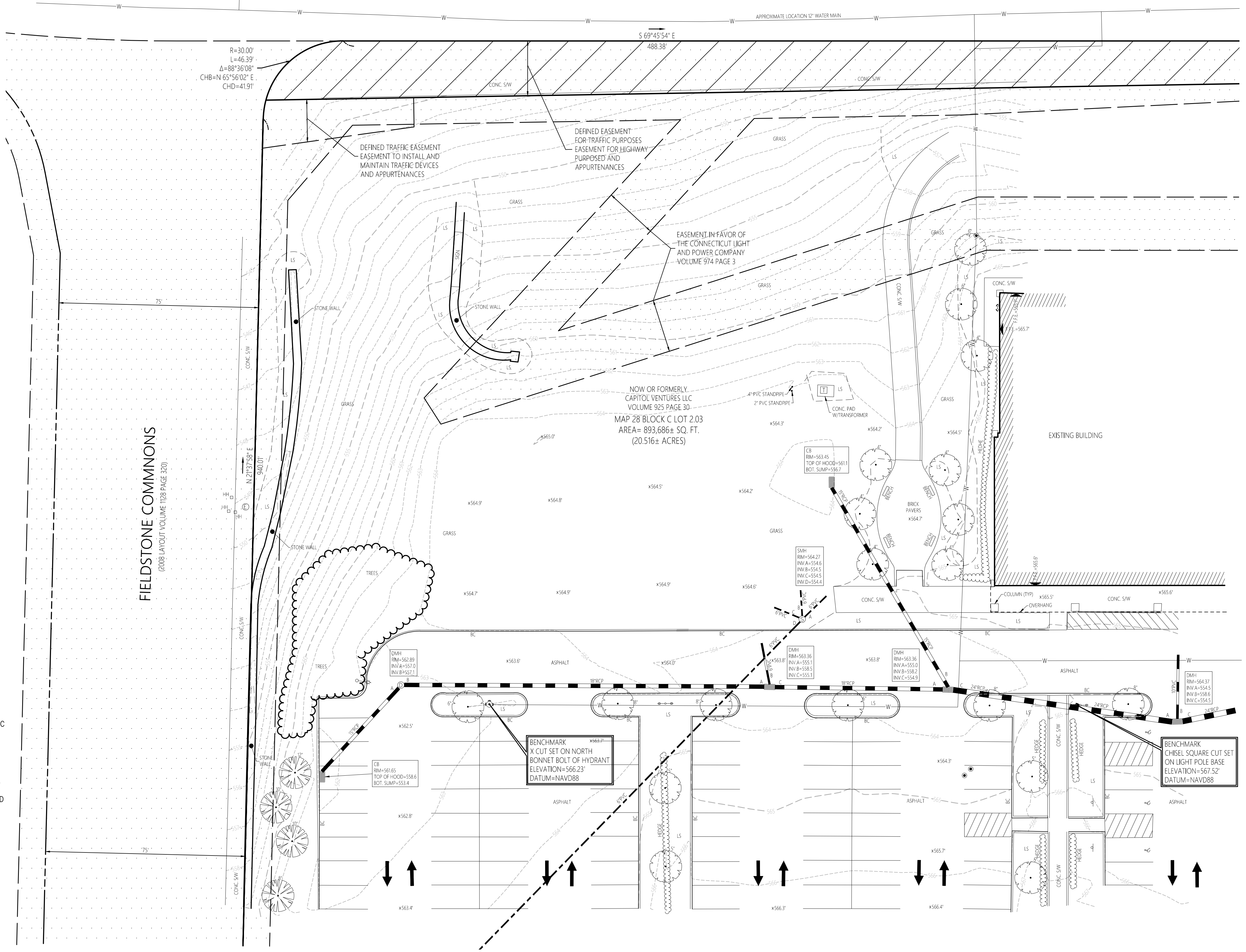
Locus Map
(NOT TO SCALE)

Legend

- CC CONCRETE CURB
- SGC SLOPED GRANITE EDGING
- EOP EDGE OF PAVEMENT
- EOG EDGE OF GRAVEL
- BIT BITUMINOUS PAVEMENT
- CONC CONCRETE
- SAW CONCRETE SIDEWALK
- UP UTILITY POLE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYLCHLORIDE PIPE
- CMP CORRUGATED METAL PIPE
- CPP CORRUGATED PLASTIC PIPE
- DWL DASHED WHITE LINE
- CB CATCH BASIN
- MH MANHOLE
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- RM RIM ELEVATION
- INV INVERT ELEVATION
- ELEV ELEVATION
- F.F.E FINISH FLOOR ELEVATION
- TYP TYPICAL
- AC AIR CONDITIONING
- EB ELECTRIC BOX
- EM ELECTRIC METER
- GM GAS METER
- HH HAND HOLE
- PP PIN/PIPE FOUND
- MF MONUMENT FOUND
- PM PROPERTY MARKER SET
- BL BUILDING LIGHT
- CB CATCH BASIN
- CB CATCH BASIN
- RCB ROUND CATCH BASIN
- DS DOWNSPOUT
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- EM ELECTRIC MANHOLE
- TM TELEPHONE MANHOLE
- MH MANHOLE
- WG WATER GATE
- FH FIRE HYDRANT
- GG GAS GATE
- SS STREET SIGN
- LP LIGHT POLE
- UP UTILITY POLE
- UP UTILITY POLE W/LIGHT
- GW GUY WIRE
- BP BOLLARD/POST
- MW MONITORING WELL
- EP EDGE OF PAVEMENT
- EGR EDGE OF GRAVEL/LANDSCAPE
- BO BUILDING OVERHANG
- CU CURB
- SGR STEEL GUARD RAIL
- CLF CHAIN LINK FENCE
- SCF STOCKADE FENCE
- UDL UNDERGROUND DRAINAGE LINE
- USL UNDERGROUND SEWER LINE
- OHV OVERHEAD WIRE
- UEL UNDERGROUND ELECTRIC LINE
- UGL UNDERGROUND GAS LINE
- UWL UNDERGROUND WATER LINE
- PL PROPERTY LINE
- EL EASEMENT LINE
- SHL STATE HIGHWAY LINE
- CTL CITY/TOWN LAYOUT LINE



MERROW ROAD ROUTE #195
(1939 HIGHWAY LAYOUT)



- Map Reference**
- MAP TITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR CAPITOL VENTURES, LLC 33 FIELDSTONE COMMONS TOLLAND, CONNECTICUT" SCALE 1"=40', DATED 9/12/06 REVISED TO 10/13/06, SHEETS 1-3.
 - MAP TITLED "COMPILATION PLAN MAP DEPICTING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF CAPITOL VENTURES, LLC & ROCKVILLE BANK CONN. ROUTE 195 TOLLAND, CONNECTICUT MAP NO. 9607CLP" SCALE 1"=100', DATED 2/23/205 REVISED TO 3/9/2005.
 - MAP TITLED "RIGHT OF WAY SURVEY TOWN OF TOLLAND MAP SHOWING EASEMENT ACQUIRED FROM CAPITOL VENTURES, LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION MERROW ROAD (CT ROUTE 195)" SCALE 1"=40', DATED FEBRUARY 15, 2005.
 - MAP TITLE "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF TOLLAND MERROW ROAD FROM TOLLAND CENTER SO. EASTERLY TO THE COVENTRY TOWN LINE NUMBER 142-05 SHEET 3 OF 8" SCALE 1"=40' DATED OCT. 31, 1939.

Map 28 Block C Lot 2.03
33 FIELDSTONE COMMONS
Tolland, Connecticut

No.	Revision	Date	App'd.

Designed by: JDD Checked by: CCD
 Issued for: Date: Client: March 14, 2022

- General Notes**
- THE PROPERTY MARKERS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB ON FEBRUARY 21, 2022.
 - THE EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB ON FEBRUARY 21, 2022.
 - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES DEPICTED ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE DEPICTED ON THIS PLAN.
 - COORDINATES, HORIZONTAL DATUM AND BEARINGS DEPICTED ON THIS SURVEY ARE REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE GRID SYSTEM - NAD 83. THE VERTICAL DATUM DEPICTED ON THIS SURVEY IS REFERENCED TO THE NAVD88. BOTH DATUMS WERE COMPUTED AND MEASURED USING AVERAGED REAL TIME NETWORK (RTN) GPS SOLUTION.

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AMENDED OCTOBER 26, 2018.

THIS IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL CLASS A-2 ACCURACY AND A TOPOGRAPHIC SURVEY CONFORMING TO A TOPOGRAPHICAL ACCURACY STANDARD CLASS T-2. THE BOUNDARY DETERMINATION IS A DEPENDANT RESURVEY.

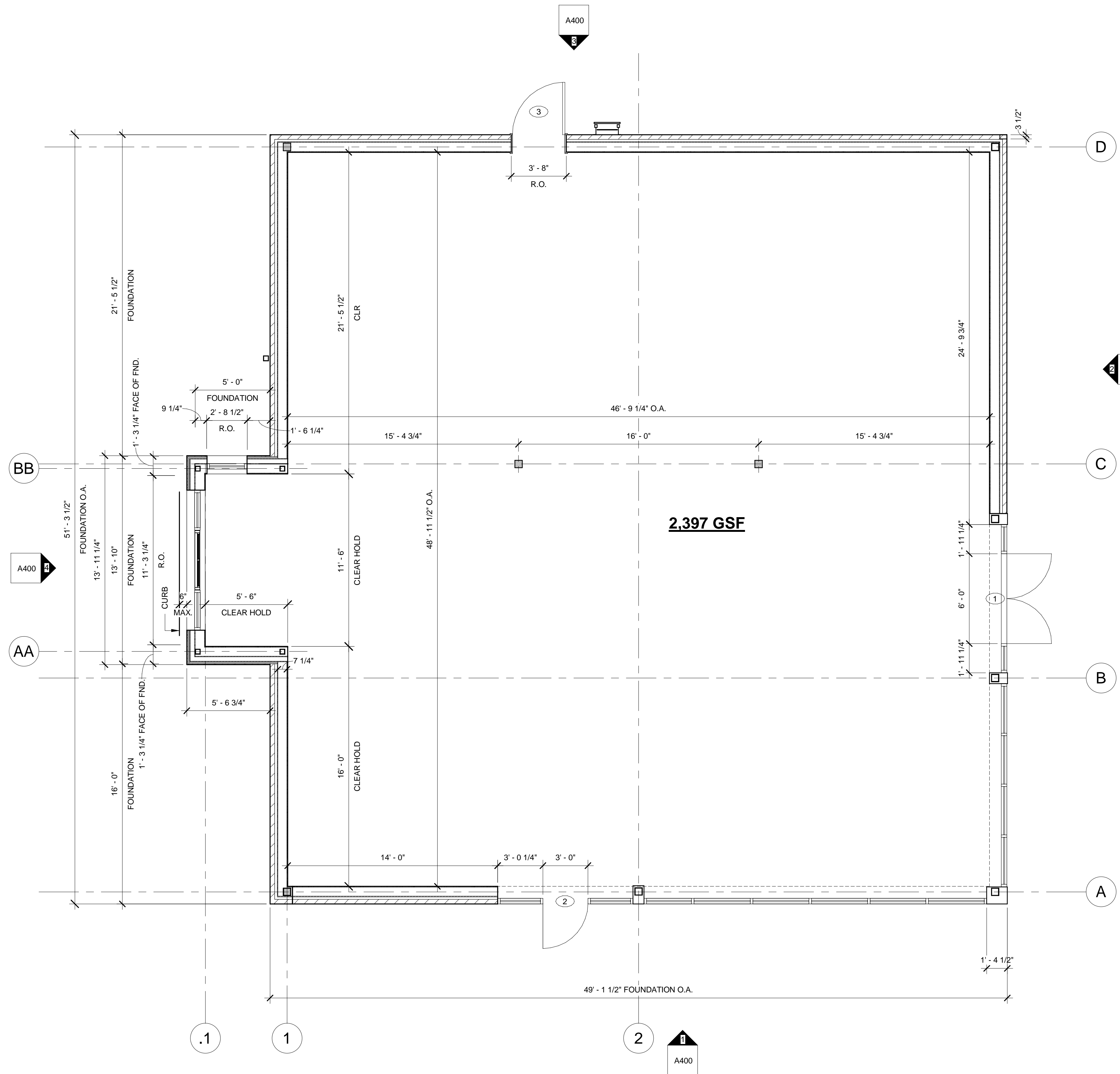
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS PLAN IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

[Signature]
 CHRISTOPHER C. DANFORTH, L.S. #70118 DATE: 3/14/2022

Property Survey
& Topographic Survey

Drawing Number: Sv-1
 Sheet 1 of 1
 Project Number: 42896.00

5/19/2023 12:18:03 PM
 B:\projects\2023\23065_Starbucks-Shell_Tolland-CT.rvt
 Copyright © 2017 by BKA Architects, Inc. The architectural plans, drawings, designs, specifications and other arrangements on this sheet are and shall remain the property of BKA Associates, Inc. No part thereof shall be copied, disclosed to others, or used in connection with any work or project, other than that specified for which they have been prepared and developed, without the express knowledge and written consent of BKA Architects, Inc.

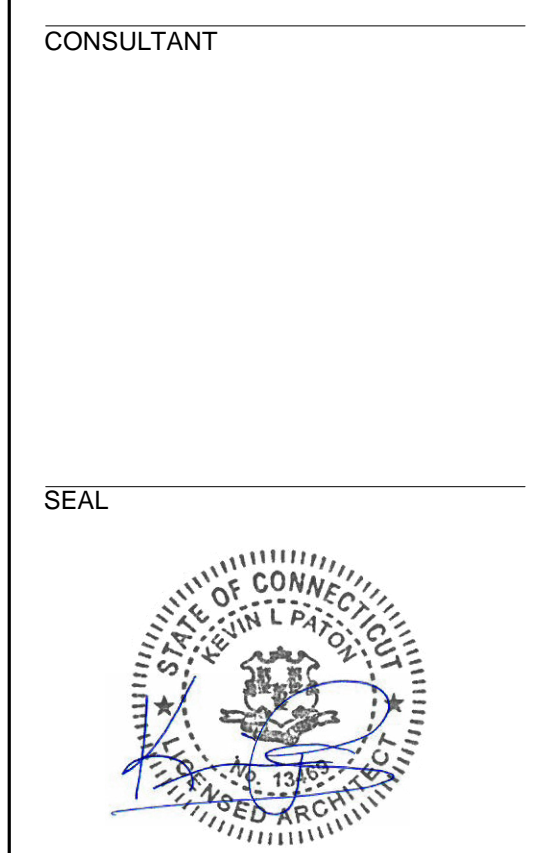


- ### GENERAL NOTES
- COORDINATE THE ARCHITECTURAL DRAWINGS WITH ENGINEERED CIVIL, STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS WITH THE WORK OF ALL TRADES.
 - FINISH SLAB-ON-GRADE ELEVATION ASSUMED TO BE 0'-0". COORDINATE THE ACTUAL SITE DATUM WITH THE ENGINEERED CIVIL/SITE DRAWINGS.
 - REFER TO THE CIVIL ENGINEERING DRAWINGS FOR GRADING, UNDERGROUND AND SURFACE UTILITIES, SITE IMPROVEMENTS, RETAINING WALLS, UNDERGROUND DRAINAGE, DETENTION BASINS, EXTERIOR WALKS, PARKING, STRIPING, H.C. SIGNAGE/SYMBOLS, CURB CUTS, LIGHTING, LANDSCAPING, ETC. AIA 201 GENERAL CONDITIONS CONTRACT SHALL BE THE BASIS FOR INCLUDING BUT NOT LIMITED TO GENERAL CONDITIONS.
 - REFER TO THE ENGINEERED STRUCTURAL DRAWINGS FOR ALL NOTES, INFORMATION, AND DETAILS REGARDING FOOTINGS, FOUNDATIONS, SLABS, REINFORCEMENT, ANCHORING, BRACING, SUPERSTRUCTURE, FRAMING, CONNECTIONS, ETC.
 - ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF G.W.B. TO FACE OF G.W.B. UNLESS SPECIFICALLY NOTED OTHERWISE. **DO NOT SCALE DRAWINGS.** REFER TO ENLARGED PLANS AND DETAILS FOR FURTHER DIMENSIONING INFORMATION. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ALL DEVIATIONS AND DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK. RECORD ALL MODIFICATIONS ON THE "AS-BUILTS"- DAILY.
 - FIRE EXTINGUISHERS TO BE PROVIDED BY TENANT.
 - THE GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.
 - THE G.C. SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ETC., INCLUDING COLOR CHARTS FOR PAINTS AND STAINS FOR ALL EXTERIOR AND INTERIOR FINISHES, TO THE ARCHITECT FOR SELECTION, REVIEW AND APPROVAL PRIOR TO FABRICATION, ORDERING, OR INSTALLATION. PRIORITIES ANY LONG-LEAD ITEMS.
 - THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING MOUNTED EQUIPMENT, DEVICES AND FIXTURES.
 - PERFORM ALL WORK IN ACCORDANCE WITH THE CURRENT MASSACHUSETTS BUILDING CODE & MAAB, AND ADAAG, AS WELL AS ALL LOCAL CODES AND ORDINANCES.
 - THE G.C. AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES AS REQUIRED BY THE A.H.J.
 - THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS OFF SITE.
 - THE G.C. SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK (O.A.E.) AND SEALANT ON USG SAFING; 2500 PSI GROUT AT CMU WALLS.
 - INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.
 - COORDINATE SOLID F.R.T.W. BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES. ADDITIONALLY, F.R.T.W. SHALL BE USED WHEREVER WOOD IS USED, UNLESS OTHERWISE ALLOWED BY MA BUILDING CODE OR OTHER APPLICABLE CODES.
 - PROVIDE CONTINUOUS GALVANIZED METAL EDGE TRIM AT ALL GWB WORK.
 - THE G.C. SHALL INSTALL ALL INTERIOR FINISHES AT ALL SURFACES INDICATED ON THE DRAWINGS IN CONFORMANCE TO NYS BUILDING CODE. ALL DOORS SHALL HAVE LEVER HARDWARE TO CONFORM TO MAAB AND ADAAG.
 - INSTALL USG .093 (OR APPROVED EQUAL) CONTROL JOINTS @ 30'-0" O.C. MAX. OR AS PER MANUFACTURER'S SUGGESTED DETAILS AND SPECIFICATIONS.
 - FILL ALL VOIDS AT EXTERIOR WALL NOT VENTED TO THE EXTERIOR W/ ZERO-DRAFT FOAM INSULATION
 - G.C. SHALL PROVIDE WATER METER, COORD. SIZE, TYPE & LOCATION W/THE TOWN WATER DEPT.

LEGEND

	Name EL=Elevation:	ELEVATION
	1 A101	SECTION
	1 A101	DETAIL
	1 A 100	EXTERIOR ELEVATION
	1B 1A101 1A 1D	STOREFRONT ELEVATION
	Room name 101	ROOM NUMBER
	101	DOOR NUMBER
	1	WINDOW TYPE
	1	REVISION NUMBER AND REVISION CLOUD

1 FLOOR PLAN
A101
1/4" = 1'-0"



ISSUES & REVISIONS
 04/24/2023 - FOR CLIENT REVIEW
 05/22/2023 - SITE PLAN REVIEW

OWNER/CLIENT

PROJECT
STARBUCKS SHELL

33 FIELDSTONE COMMONS
 TOLLAND, CONNECTICUT

DRAWING TITLE
FLOOR PLAN

DRAWING INFORMATION
 Job Number: **223065**
 Checked By: **KTB**
 Drawn By **LMH**
 DRAWING NUMBER

A101

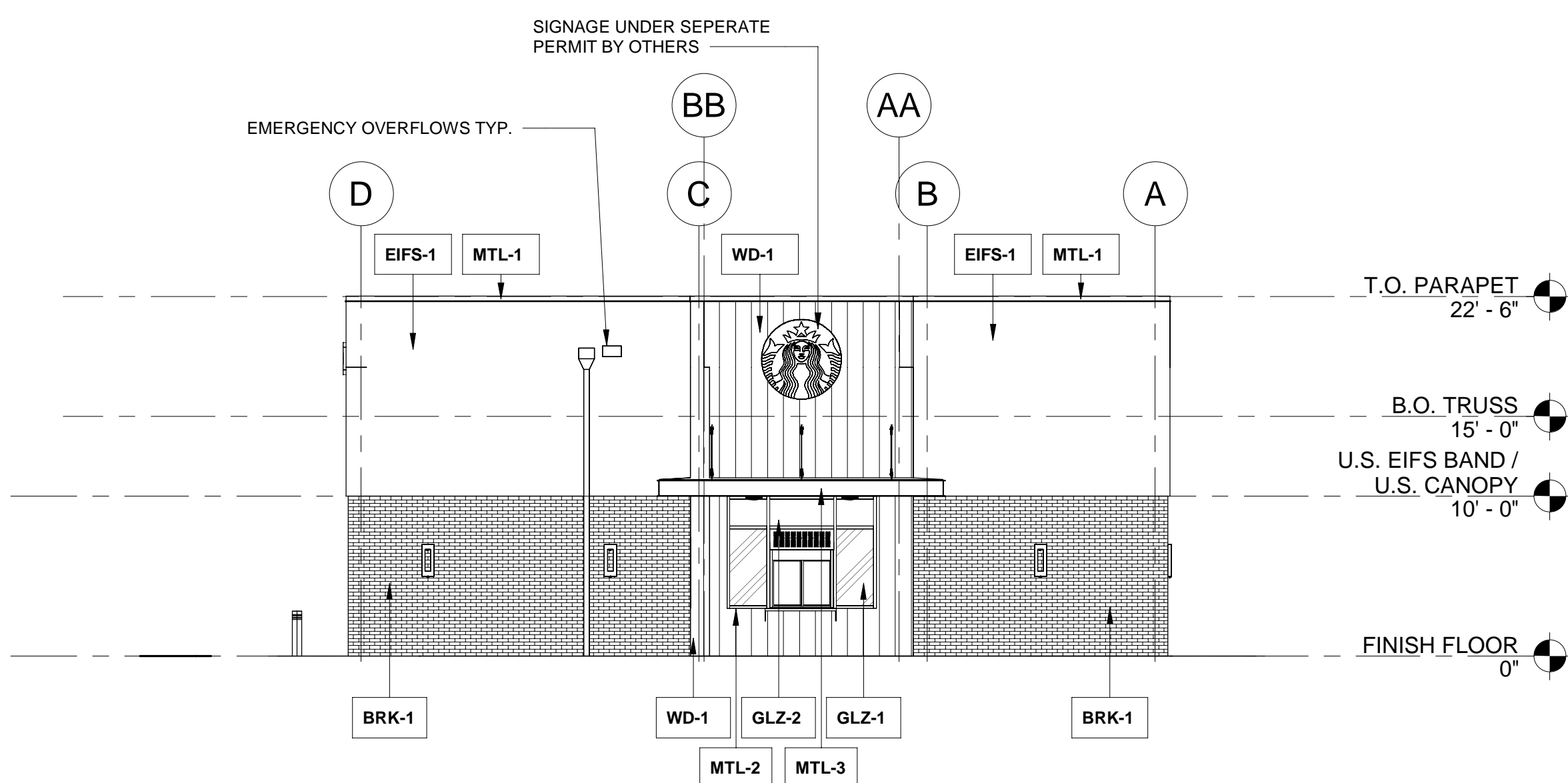
Project Status 5/22/23 SITE PLAN REVIEW

5/19/2023 12:18:04 PM
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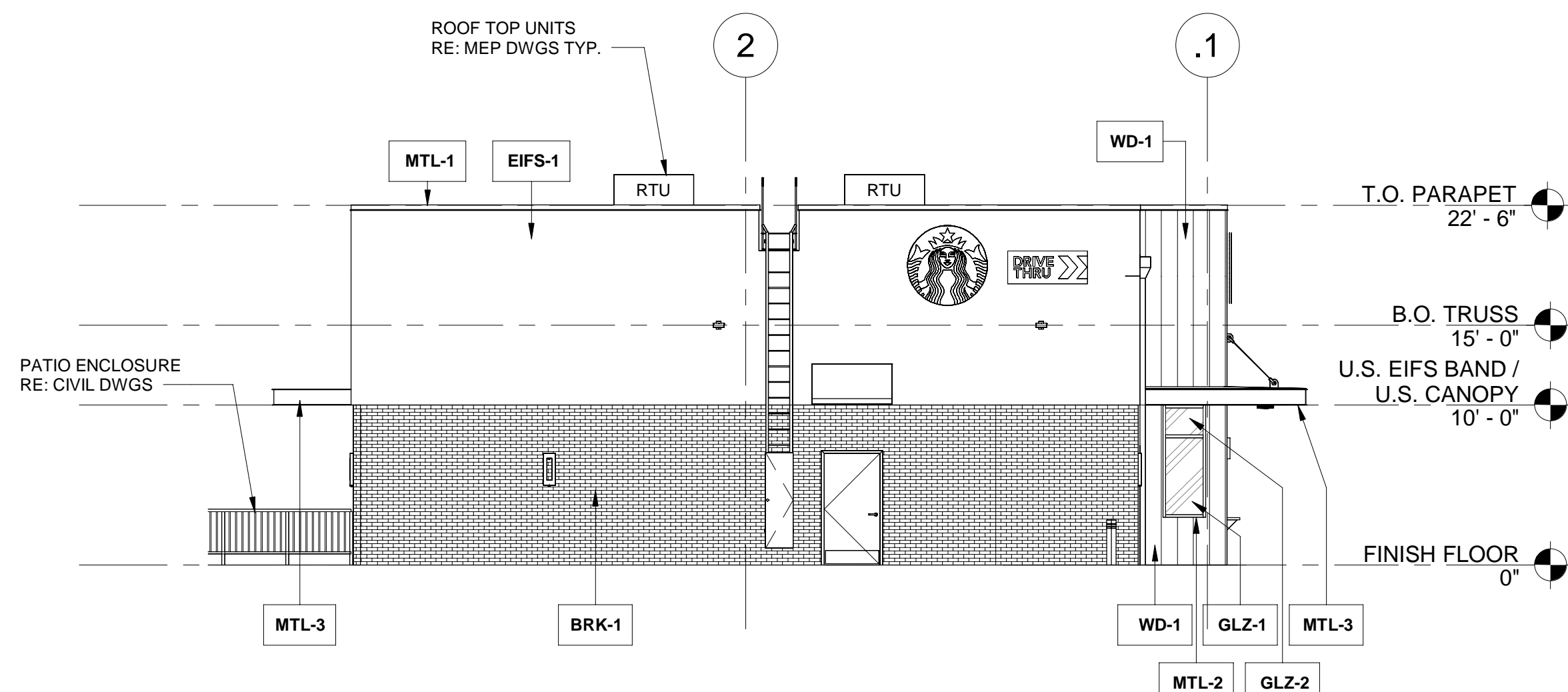
EXTERIOR ELEVATION NOTES

- A. SIGNAGE UNDER SEPERATE PERMIT
- B. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
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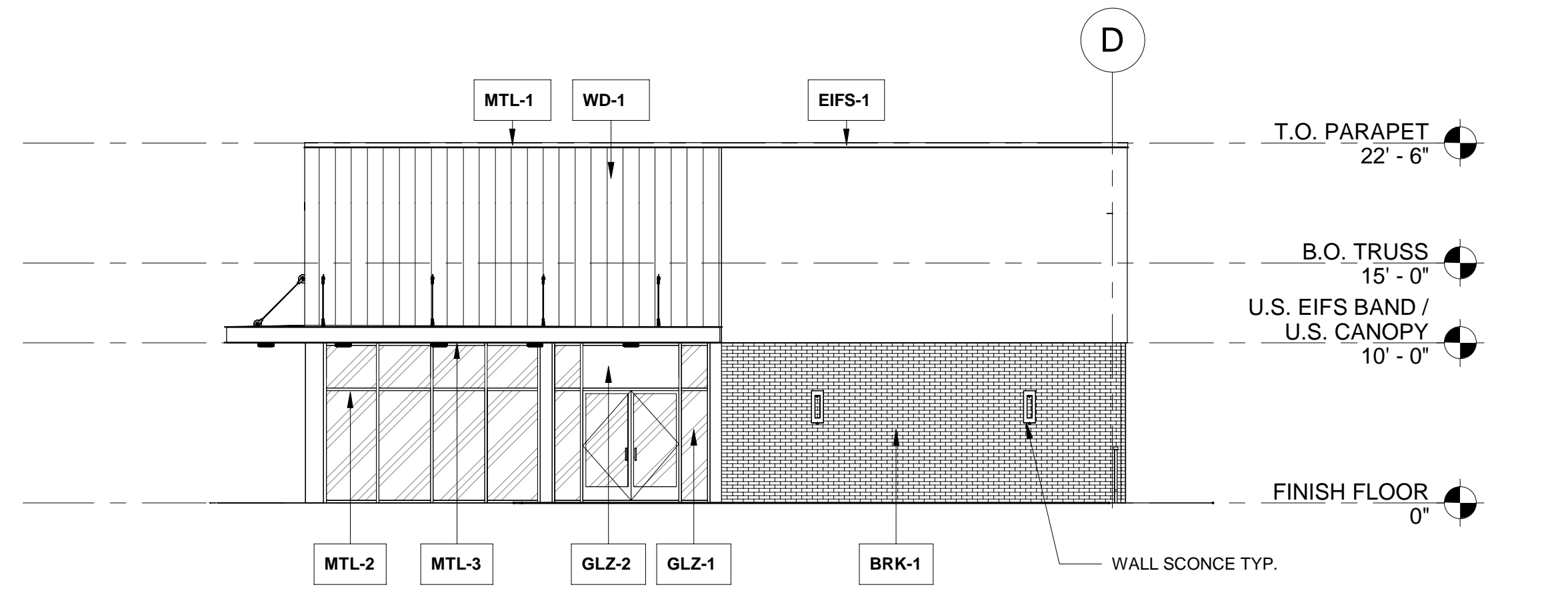
EXTERIOR FINISH SCHEDULE				
NO.	MATERIAL	MFG/FINISH/STYLE	COLOR	COMMENTS
BRK-1	FULL BRICK VENEER	MORA CERAMICA MODULAR 3-5/8" x 2-1/4" x 7-5/8"	SILVER GRAY SMOOTH WITH MATCHING MORTAR	
EFIS-1	EFIS	DRYVIT SANDPEBBLE FINE TEXTURE W/ STRATOTONE COLORANT	STAR-05 1022 ST	
GLZ-1	GLAZING	SOLAR BAN 60 CLEAR	CLEAR	REFER TO SHEET A700 FOR TEMPERED GLASS LOCATIONS
GLZ-2	GLAZING	SPANDREL		
MTL-1	METAL COPING	PRE-FINISHED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-2	ALUMINUM STOREFRONT SYSTEM	ANODIZED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-3	BRAKE METAL	POWDERCOAT	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-4	HOLLOW METAL DOOR & FRAME	SHERWIN WILLIAMS PAINTED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-5	METAL AWNING	POWDERCOAT	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
WD-1	WOOD SIDING	RESAWN TIMBER CO. SEALED FACE AND BACK 3/4" THICK X 5-3/8" WIDE X 8' X 16' RANDOM LENGTHS	UNAGI- SHOU SUGI BAN W/ DADOS PROFILE	VERTICAL ORIENTATION
WD-4	ACCOYA WOOD SIDING @ UNDERSIDE OF CANOPY	TONGUE AND GROOVE PLANK SEALED FACE AND BACK 3/4" THICK X 5-3/8" WIDE X 8'-16' RANDOM LENGTHS	GOBI	



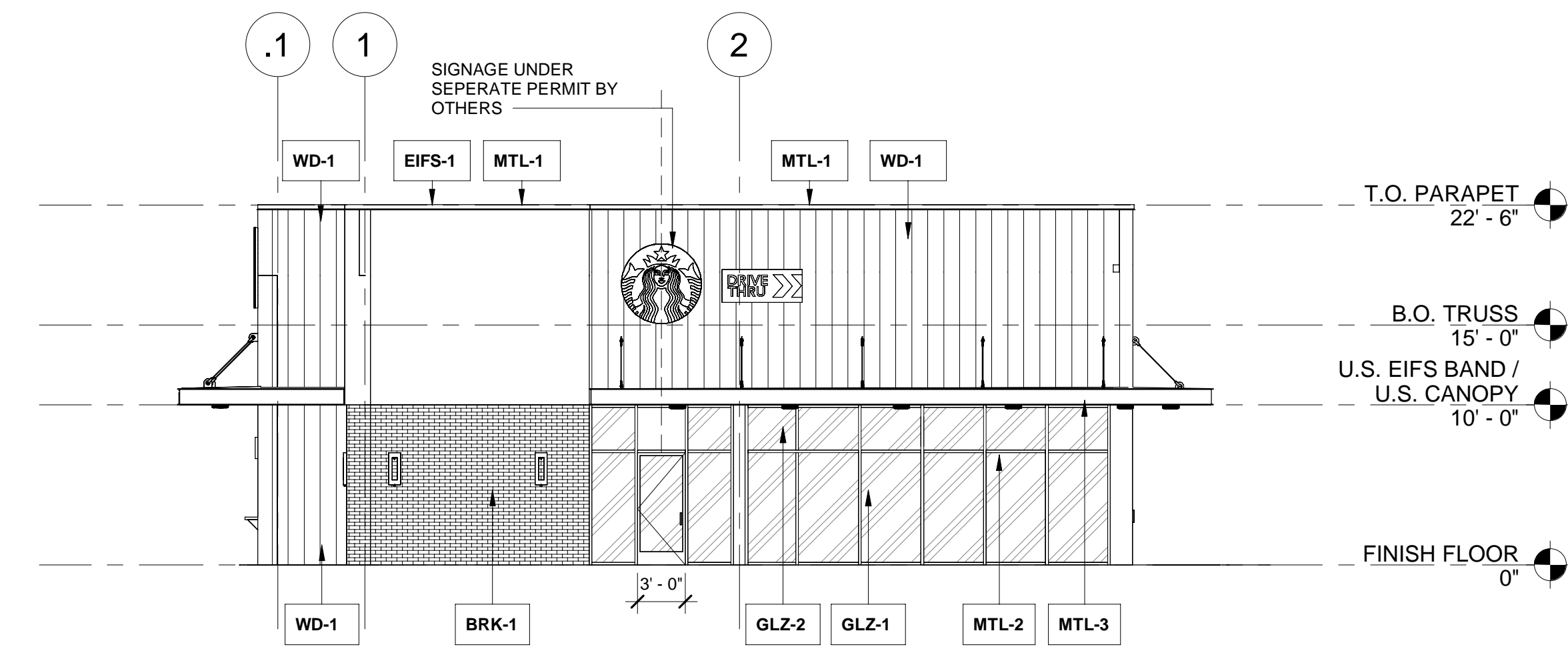
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Scale 1/8" = 1'-0"



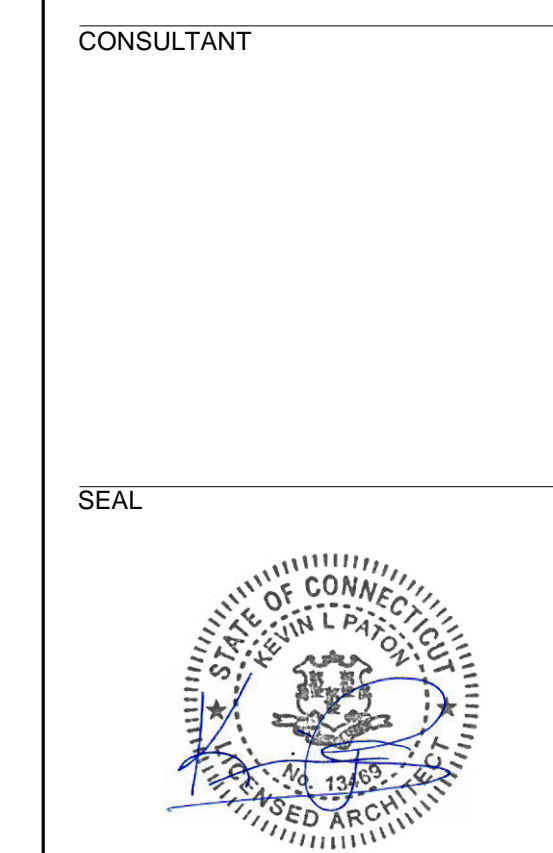
3 NORTH ELEVATION
Scale 1/8" = 1'-0"



2 EAST ELEVATION
Scale 1/8" = 1'-0"



1 SOUTH ELEVATION
Scale 1/8" = 1'-0"



ISSUES & REVISIONS
 04/24/2023 - FOR CLIENT REVIEW
 05/22/2023 - SITE PLAN REVIEW

OWNER/CLIENT

PROJECT
STARBUCKS SHELL

33 FIELDSTONE COMMONS
 TOLLAND, CONNECTICUT

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING INFORMATION
 Job Number: 223065
 Checked By: KTB
 Drawn By: LMH
 DRAWING NUMBER

Project Status 5/22/23 SITE PLAN REVIEW

A400



FIELDSTONE COMMONS



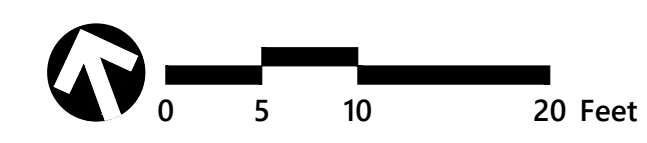
PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
ARO	18	Acer rubrum 'October Glory'	October Glory Maple	2 1/2 - 3" CAL.	
GD	5	Gymnocladus dioica 'Prairie Titan'	Prairie Titan® Kentucky Coffeetree	2 1/2 - 3" CAL.	
QR	18	Quercus rubra	Red Oak	2 1/2 - 3" CAL.	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
MS	14	Malus hybrid 'Spring Snow'	Spring Snow Crab Apple	2 - 3" CAL.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
CS	44	Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	24 - 30" HT.	
ICB	3	Ilex x meserveae 'China Boy'	China Boy® Holly	18 - 24" HT.	
ICG	30	Ilex x meserveae 'China Girl'	China Girl® Holly	18 - 24" HT.	
VC	16	Vaccinium corymbosum	Highbush Blueberry	2 - 3' HT.	
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
ES	69	Eragrostis spectabilis	Purple Lovegrass	2 GAL.	30" o.c.
PVN	50	Panicum virgatum 'Northwind'	Northwind Switch Grass	2 GAL.	36" o.c.
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
EP	460	Echinacea purpurea	Coneflower	2 GAL.	18" o.c.
HRR	312	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily	1 GAL.	24" o.c.
RLS	670	Rudbeckia fx 'Little Suzy'	Little Suzy Coneflower	1 GAL.	12" o.c.

Zoning Summary Chart

Zoning District(S):	Gateway Design District (GDD)	
Overlay District(S):	Town Center Pathway	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	1 Acres	20.4 Acres
FRONTAGE	200 Feet	620 Feet
FRONT YARD SETBACK	50 Feet	143.7 Feet
SIDE YARD SETBACK	50 Feet	75 Feet
REAR YARD SETBACK	35 Feet	> 35 Feet
MAXIMUM BUILDING HEIGHT	35 Feet	< 35 Feet
MAXIMUM LOT COVERAGE	50%	0%
MIN SEPERATION BETWEEN BLDGS	20 Feet	149 Feet
INTERIOR PARKING LANDSCAPING PERCENTAGE	10% OF PARKING AREA	EXISTING (13%±)
DRIVE THRU SERVICE MENU BOARD FROM RESIDENTIAL STRUCTURE	150 Feet	>150 Feet

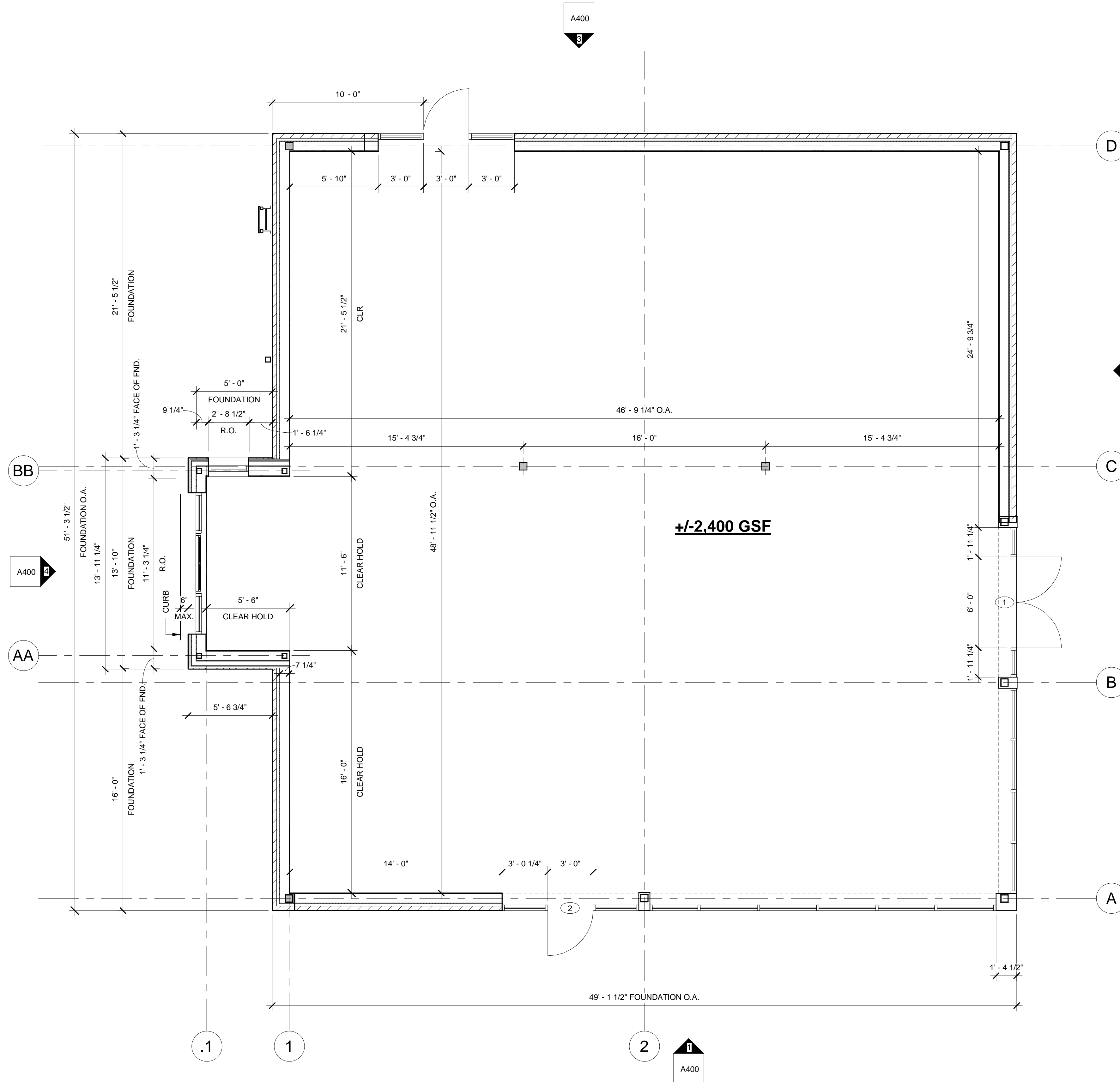
* Zoning regulation requirements as specified in



Proposed Conditions
 33 Fieldstone Commons
 Tolland, CT

Source: VHB
 Prepared for: Local Approvals
 Date: 06/01/2023





1 FLOOR PLAN
A101 1/4" = 1'-0"

GENERAL NOTES

- 1.) COORDINATE THE ARCHITECTURAL DRAWINGS WITH ENGINEERED CIVIL, STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS WITH THE WORK OF ALL TRADES.
- 2.) FINISH SLAB-ON-GRADE ELEVATION ASSUMED TO BE 0'-0". COORDINATE THE ACTUAL SITE DATUM WITH THE ENGINEERED CIVIL/SITE DRAWINGS.
- 3.) REFER TO THE CIVIL ENGINEERING DRAWINGS FOR GRADING, UNDERGROUND AND SURFACE UTILITIES, SITE IMPROVEMENTS, RETAINING WALLS, UNDERGROUND DRAINAGE, DETENTION BASINS, EXTERIOR WALKS, PARKING, STRIPING, H.C. SIGNAGE/SYMBOLS, CURB CUTS, LIGHTING, LANDSCAPING, ETC. AIA 201 GENERAL CONDITIONS CONTRACT SHALL BE THE BASIS FOR INCLUDING BUT NOT LIMITED TO GENERAL CONDITIONS.
- 4.) REFER TO THE ENGINEERED STRUCTURAL DRAWINGS FOR ALL NOTES, INFORMATION, AND DETAILS REGARDING FOOTINGS, FOUNDATIONS, SLABS, REINFORCEMENT, ANCHORING, BRACING, SUPERSTRUCTURE, FRAMING, CONNECTIONS, ETC.
- 5.) ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF G.W.B. TO FACE OF G.W.B. UNLESS SPECIFICALLY NOTED OTHERWISE. **DO NOT SCALE DRAWINGS.** REFER TO ENLARGED PLANS AND DETAILS FOR FURTHER DIMENSIONING INFORMATION. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ALL DEVIATIONS AND DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK. RECORD ALL MODIFICATIONS ON THE "AS-BUILT" DAILY.
- 6.) FIRE EXTINGUISHERS TO BE PROVIDED BY TENANT.
- 7.) THE GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.
- 8.) THE G.C. SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ETC., INCLUDING COLOR CHARTS FOR PAINTS AND STAINS FOR ALL EXTERIOR AND INTERIOR FINISHES, TO THE ARCHITECT FOR SELECTION, REVIEW AND APPROVAL PRIOR TO FABRICATION, ORDERING, OR INSTALLATION. PRIORITIES ANY LONG-LEAD ITEMS.
- 9.) THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING-MOUNTED EQUIPMENT, DEVICES AND FIXTURES.
- 10.) PERFORM ALL WORK IN ACCORDANCE WITH THE CURRENT MASSACHUSETTS BUILDING CODE & MAAB, AND ADAAG, AS WELL AS ALL LOCAL CODES AND ORDINANCES.
- 11.) THE G.C. AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES AS REQUIRED BY THE A.H.J.
- 12.) THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS OFF SITE.
- 13.) THE G.C. SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK (O.A.E.) AND SEALANT ON USG SAFING; 2500 PSI GROUT AT CMU WALLS.
- 14.) INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.
- 15.) COORDINATE SOLID F.R.T.W. BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES. ADDITIONALLY, F.R.T.W. SHALL BE USED WHEREVER WOOD IS USED, UNLESS OTHERWISE ALLOWED BY MA BUILDING CODE OR OTHER APPLICABLE CODES.
- 16.) PROVIDE CONTINUOUS GALVANIZED METAL EDGE TRIM AT ALL G.W.B. WORK.
- 17.) THE G.C. SHALL INSTALL ALL INTERIOR FINISHES AT ALL SURFACES INDICATED ON THE DRAWINGS IN CONFORMANCE TO NYS BUILDING CODE. ALL DOORS SHALL HAVE LEVER HARDWARE TO CONFORM TO MAAB AND ADAAG.
- 18.) INSTALL USG .093 (OR APPROVED EQUAL) CONTROL JOINTS @ 30'-0" O.C. MAX. OR AS PER MANUFACTURER'S SUGGESTED DETAILS AND SPECIFICATIONS.
- 19.) FILL ALL VOIDS AT EXTERIOR WALL NOT VENTED TO THE EXTERIOR W/ ZERO-DRAFT FOAM INSULATION
- 20.) G.C. SHALL PROVIDE WATER METER, COORD. SIZE, TYPE & LOCATION W/THE TOWN WATER DEPT.

LEGEND

	Name EL=Elevation:	ELEVATION
	1 A101	SECTION
	1 A101	DETAIL
	1 A 100	EXTERIOR ELEVATION
	1B 1 A101 1A 1D	STOREFRONT ELEVATION
	Room name 101	ROOM NUMBER
	101	DOOR NUMBER
	1	WINDOW TYPE
	1	REVISION NUMBER AND REVISION CLOUD

CONSULTANT

SEAL

ISSUES & REVISIONS
04/24/2023 - FOR CLIENT REVIEW
05/22/2023 - DAB
6/29/2023 - DAB

OWNER/CLIENT

PROJECT
STARBUCKS SHELL

33 FIELDSTONE COMMONS, TOLLAND, CT

DRAWING TITLE
FLOOR PLAN

DRAWING INFORMATION
Job Number: 223065
Checked By: KTB
Drawn By: LMH
DRAWING NUMBER

A101

DESIGN ADVISORY BOARD 06/29/23

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 CL:\p\external\aw222066_Banruok-Shell_Tolland.ctb; Project: Tolland.ctb; Project: 223066.dwg

EXTERIOR ELEVATION NOTES

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GLZ-1	GLAZING	SOLAR BAN 60 CLEAR	CLEAR	REFER TO SHEET A700 FOR TEMPERED GLASS LOCATIONS
GLZ-2	GLAZING	SPANDREL		
MTL-1	METAL COPING	PRE-FINISHED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
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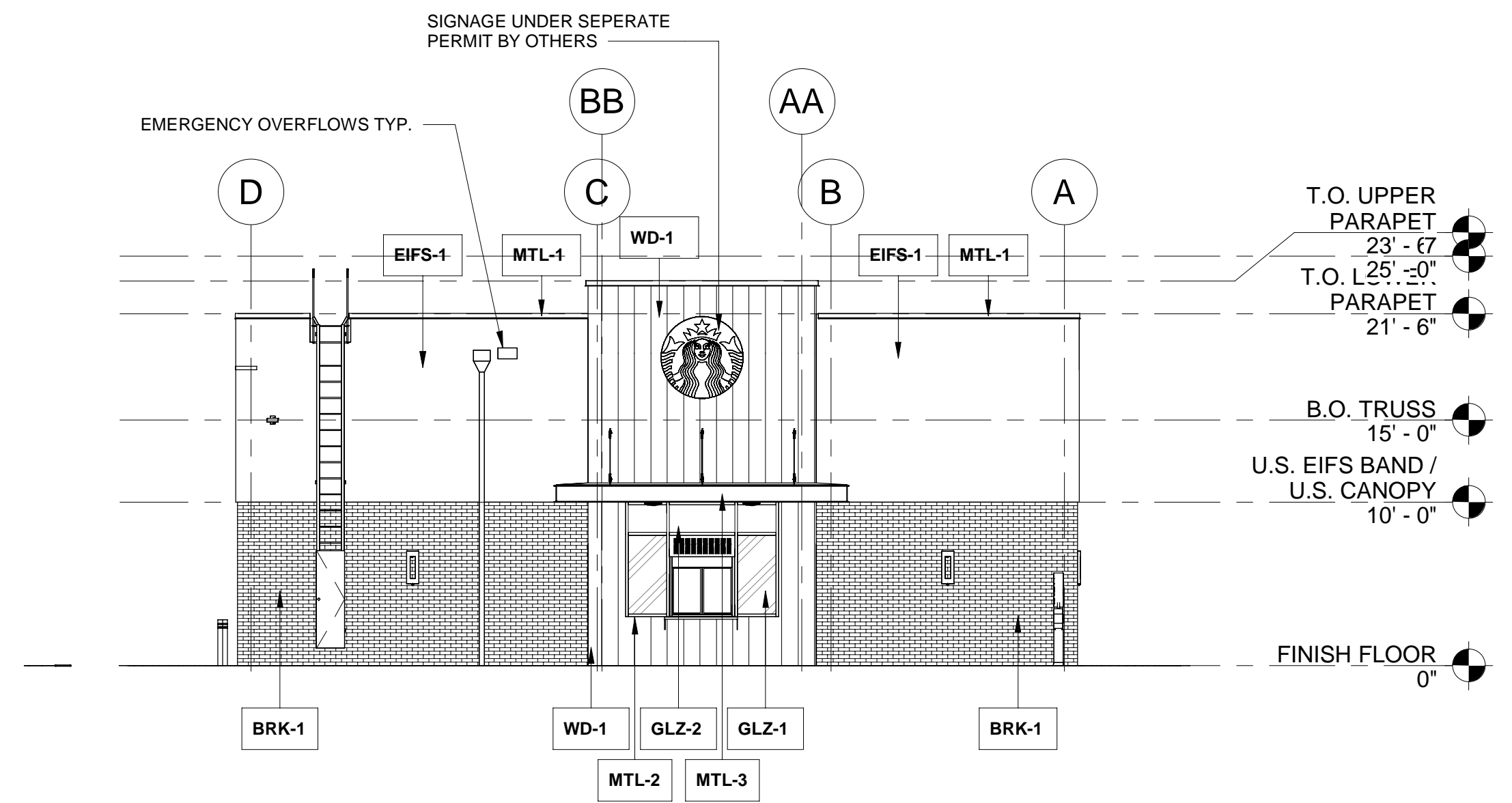
ARCHITECT
BKA ARCHITECTS
 9/27/22
 Boston + Brockton
 142 Crescent Street
 Brockton, MA 02302
 508.583.5703
 bkaarchitects.com
 CONSULTANT

SEAL
 ISSUES & REVISIONS
 04/24/2023 - FOR CLIENT REVIEW
 05/22/2023 - DAB
 6/29/2023 - DAB

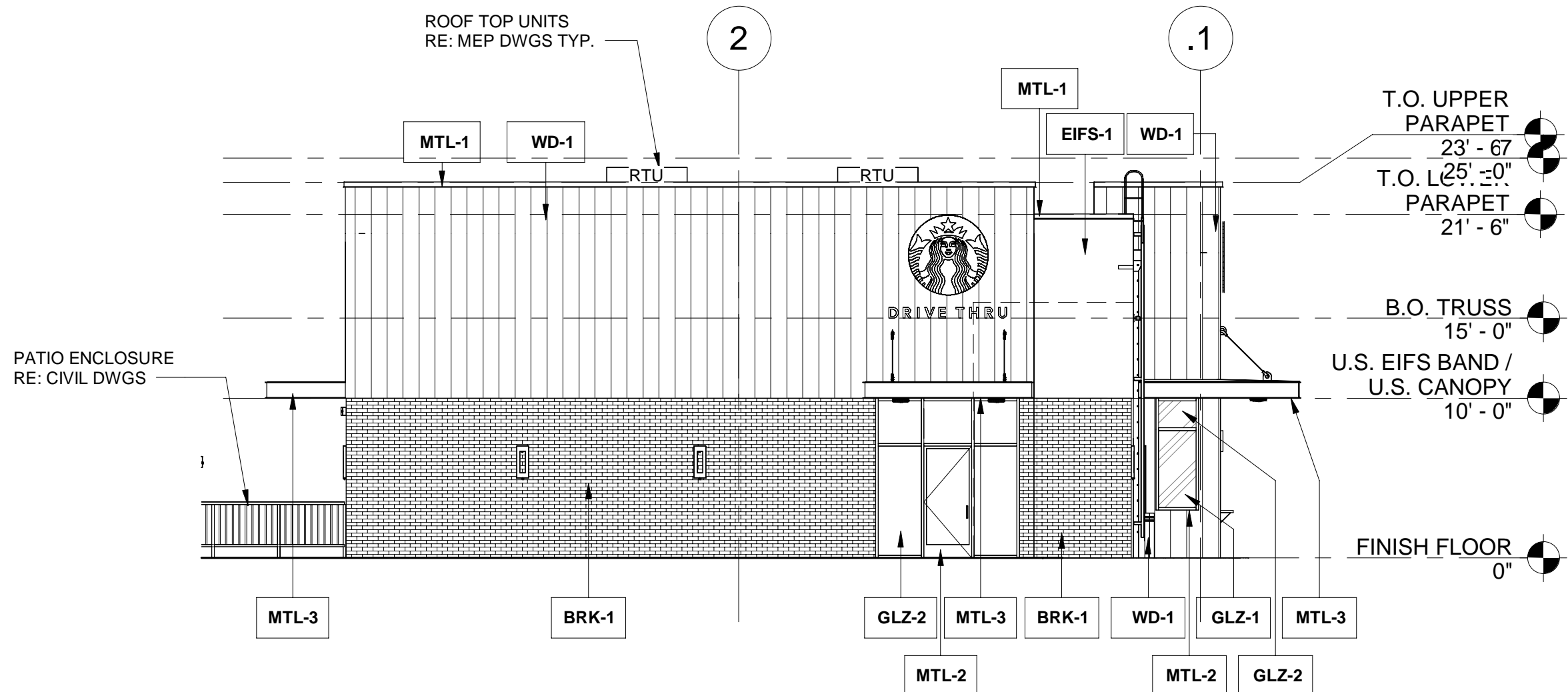
OWNER/CLIENT
 PROJECT
STARBUCKS SHELL
 33 FIELDSTONE COMMONS, TOLLAND, CT

DRAWING TITLE
EXTERIOR ELEVATIONS
 DRAWING INFORMATION
 Job Number: 223066
 Checked By: KTB
 Drawn By: LMH
 DRAWING NUMBER

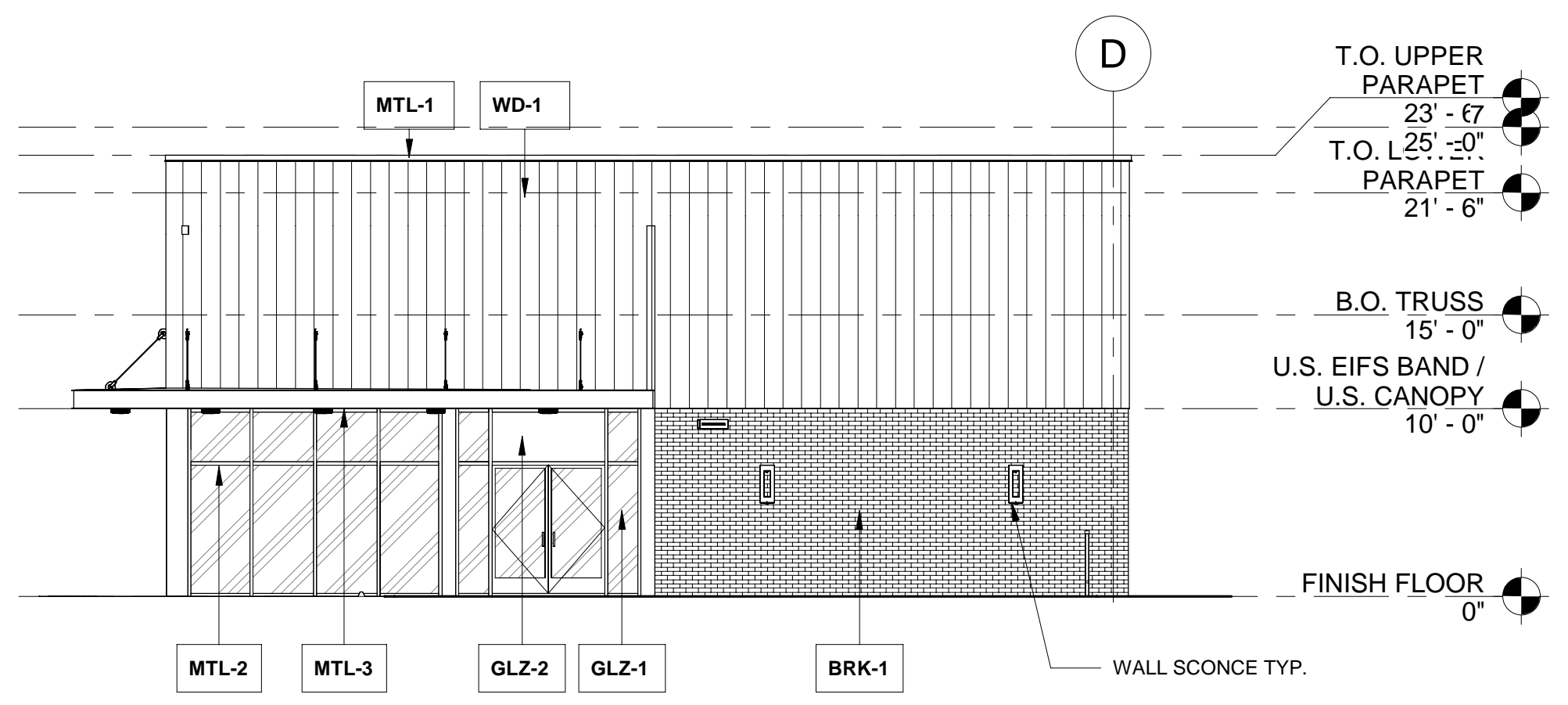
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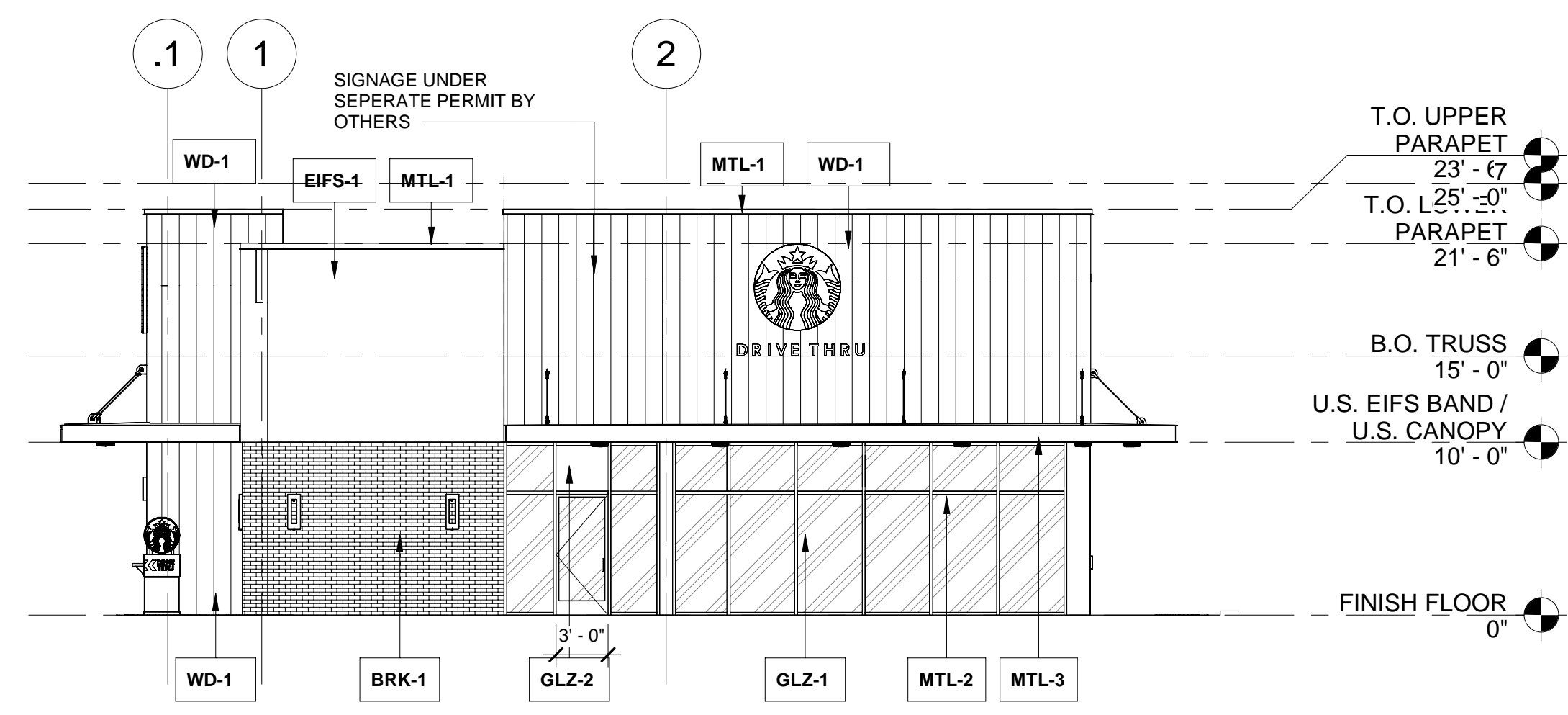
4 WEST ELEVATION
Scale 1/8" = 1'-0"



3 NORTH ELEVATION
Scale 1/8" = 1'-0"



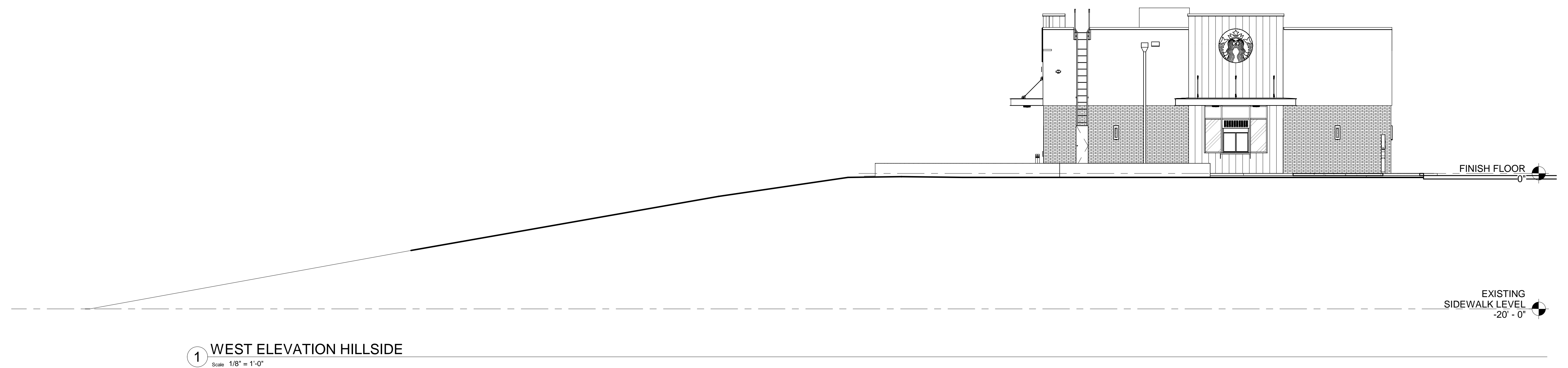
2 EAST ELEVATION
Scale 1/8" = 1'-0"



1 SOUTH ELEVATION
Scale 1/8" = 1'-0"

DESIGN ADVISORY BOARD 06/29/23





1 WEST ELEVATION HILLSIDE
Scale 1/8" = 1'-0"

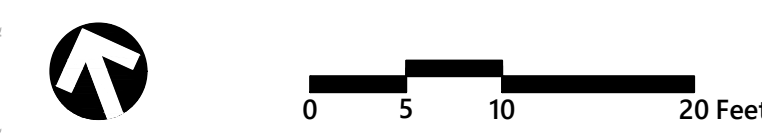
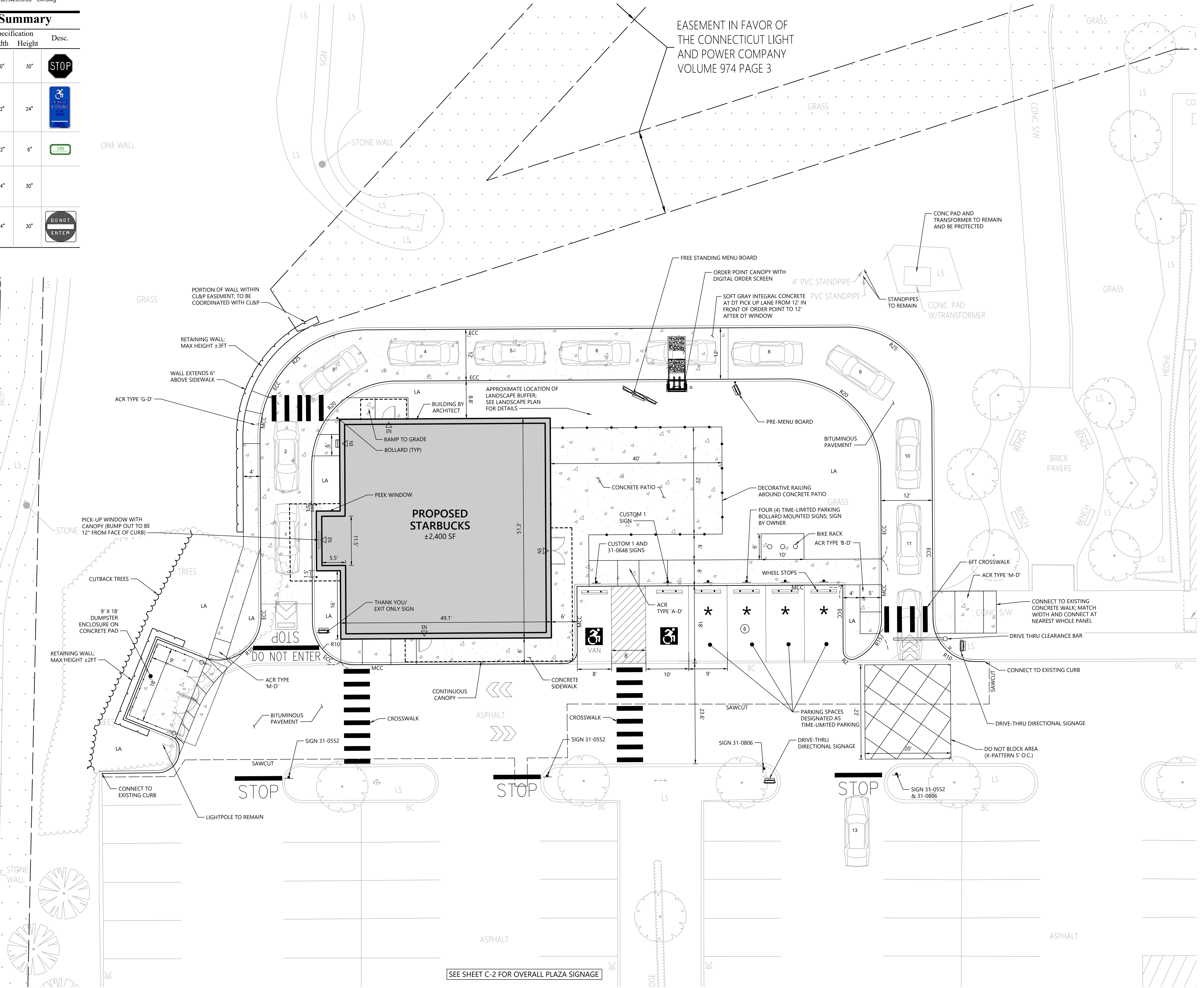


100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.807.4300

Sign Summary

CONNDOT Number	Specification Width	Specification Height	Desc.
31-0552	30"	30"	
CUSTOM 1	12"	24"	
31-0648	12"	6"	
31-0806	24"	30"	
31-1119	24"	30"	

EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY VOLUME 974 PAGE 3



Proposed Starbucks
33 Fieldstone Commons
Tolland, Connecticut

No.	Revision	Date	Appr.
1	Tenant Comments	June 29, 2023	

Designed by KE Checked by PV
Issued for Local Approvals Date May 22, 2023

Not Approved for Construction

Layout and Materials Plan

Drawing Number

C-3

Saved Tuesday, June 27, 2023 3:22:29 PM KEANNOTTI Plotted Wednesday, June 28, 2023 2:07:09 PM Kallyn Eannotti

SEE SHEET C-2 FOR OVERALL PLAZA SIGNAGE

Article 10: Gateway Design District (GDD)

Section 10-1. Purpose

The purpose of the Gateway Design District is to:

- A. Create an attractive entrance to Tolland while encouraging coordinated commercial, office, mixed-use and multi-family developments with high design standards at the interstate gateway entrances to the community;
- B. Promote compact commercial development having scale and form consistent with the natural landforms of the site and the character of the town; and
- C. Promote greater diversity in housing options by encouraging multi-family housing in appropriate locations served by public water and sewer and in walkable distance to commercial centers.

Section 10-2. General Concepts/Design Guidelines

These standards and guidelines require a basic level of architectural variety, compatible scale, and mitigation of negative impacts. They are not intended to limit creativity. The purpose of these standards and guidelines is to augment existing criteria with more specific interpretations that apply to the design of GDD developments. This district is intended to encourage smaller sites to combine with other sites in order to provide larger-scale sites and developments.

A. Siting

- 1. Depending on the overall site design, and where otherwise practicable, buildings should be sited toward the front of the lot and should maintain a pleasing spatial relationship with other buildings and public and interior-access roadways.
- 2. Structures should be sited in small groups wherever feasible.
- 3. The use of additive massing (the bulk of the building is broken into smaller sections and horizontally offset) to provide visual interest is desired.
- 4. All effort should be made to preserve and enhance historic structures, unique landforms, rock outcrops, stone walls, vegetation, views, etc. and incorporate them into site design.
- 5. Siting should not be detrimental to scenic vistas of the gateway from any public street including I-84. Items of special concern include the placement of dumpsters, loading docks, roof-mounted mechanical units, and antennas.
- 6. The design of the storm water treatment system shall contain strategies associated with low impact development to the maximum extent possible (MEP) as outlined in the Town

of Tolland Design Manual. This provision shall also apply to improvements or redevelopment of existing commercial sites. If stormwater detention/retention basins are necessary, provisions shall be made for shared structures and shared maintenance to the maximum extent feasible.

B. Access

1. Access management will be required on all sites, in order to reduce the number of driveway cuts onto adjacent roads and mitigate the deterioration of traffic flow generally caused by driveways on public roads. Access management techniques include shared driveways (or provisions for future shared driveways for the first site in the area) or interconnected driveways.
2. Use shared parking with abutting properties wherever feasible.
3. Provide safe, convenient pedestrian circulation, which also provides access to off-site sidewalks, trails, parks and other public places.
4. Locate large parking areas at the side or rear of building where practical with landscaping designed to create visual assets.

C. Site Amenities

1. Create pedestrian spaces such as plazas, "greens", commons and terraces within the development.
2. Add or create amenities such as benches, fountains, sculptures, art, bike racks, sitting walls, planters, period-style lighting or banners.
3. Use creative landscaping design, with plantings of sufficient size and quantity to clearly enhance the site.

D. Architectural Guidelines

The purpose of architectural design review is to provide insights regarding Tolland's design objectives, to encourage aesthetically pleasing commercial structures, to reduce massive scale and uniform impersonal appearance, to provide visual interest and scale consistent with the Town's identity, size and character. All applications for Special Permit shall require design review with consideration given to the following guidelines:

1. Facades.
 - a. No uninterrupted length of any facade shall exceed 100 feet and shall incorporate wall plane projections or recesses.

- b. The ground floor facade facing a public street should incorporate display windows, awnings or other such features to create visual interest.
 - c. Windows should be recessed and should include visually prominent sills, shutters or other such forms of framing.
 - d. All building facades that are visible from a public street, including I-84 and its ramps, should be attractively designed with windows and other architectural elements so that no visible elevations looks like the back of a building.
2. Roofs.
 - a. Variations in roof lines should be used to add interest and complement the character of the Town.
 - b. Rooftop equipment such as HVAC units shall be screened from public view with parapets featuring three dimensional cornice treatments.
3. Materials, colors and detail features.
 - a. Building facades should include a repeating pattern including color, texture or change of materials.
 - b. Predominant exterior building materials should be high quality materials such as brick, wood, sandstone and other native stone or tinted textured, concrete masonry units.
 - c. Facade colors should be low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors, metallic colors, black or fluorescent colors is discouraged.
 - d. Predominant exterior building materials should not include smooth-faced concrete block or pre-fabricated steel panels.

Section 10-3. Uses

A. Permitted Uses

The followings principal uses are permitted, if legally existing on or before August 1, 2000:

1. Single-family dwelling.
2. Motor vehicle sales.
3. Motor vehicle repair.
4. Accessory uses subject to the provisions of Article 17.

Tolland Design Advisory Board

Meeting Minutes—June 1, 2023

1. Call to Order

V. Nargardeolekar called the meeting to order at 7:03pm

Members Present: V.Nargardeolekar (Vice Chair), Kimberly Rogers, Cheryl Nicholas, B.Byers

Staff Present: Michael D'Amato, Planning & Development

2. New Business

2.1. **33 Fieldstone Commons – Proposed 2,400 sq.ft. restaurant with drive-through.**

Applicant: Prospect Enterprises, LLC.

Gregg Nanni of Prospect Enterprises, the current manager and developer of Fieldstone Commons introduced the application to the Board and provided a brief overview of the development history of the plaza. Paul Vitaliano of presented the proposed site plan to the Board for their review. The Board held a general discussion with the applicant team about the overall layout of the site, vehicle queuing, landscaping and pedestrian access. Douglas Grunert of BKA Architects then spoke to the overall design and construction of the building, including the exterior lighting, materials and finishes. The Commission provided comments and feedback to the applicant regarding their thought pertaining to the color, materials and overall design of the building as it relates to the adjacent buildings within the development, the rear building elevation as seen from Merrow Rd and how the building design could be modified to elevate the plaza while better complimenting the existing building typography. The Board also reviewed the specific design criteria found within Article 10-2 of the Zoning Regulations and spoke to specific design guidelines that did not appear to be met based upon the proposal as submitted. The Board made several suggestions for minor revisions to the building or site that would make the design more consistent and compliant with these guidelines.

The applicant agreed that additional revisions could be made and outlined that they would review the comments made by the Board and work to incorporate them into a revised plan for subsequent review by the Board. The Board emphasized their overall support for the project and the understanding that Fieldstone Commons is an important anchor for Tolland. They agreed that if a Special Meeting was needed to better accommodate the applicant's timeline they would be as flexible as they could be.

2.2. **140 Tolland Stage Road – 17,000 sq.ft. gymnastics building. Applicant: Tri-Town Gymnastics**

Nadine Say provided an update to the Board about the revisions that had been made to the application since it was last presented to the Board. The applicant was joined by their engineer/surveyor, building architect and building contractor. Mark Peterson of Gardner & Peterson provided an overview of the site plan including the subsurface stormwater system, site lighting, grading and landscaping. The applicant provided an update regarding the exterior façade of the proposed building and detailed the specific use and interior floorplan to further clarify why the building had been designed as presented. A sample of the exterior building façade was presented to the Board to provide additional clarity as to the materials that have been proposed. The Board held a general discussion with the applicant and was appreciative

of the revisions and additional information that had been developed and presented. They agreed that no additional review was required but provided comments to the applicant regarding any future mechanical units, screening of the on-site dumpster pad and inclusion of roof leaders/downspouts.

3. **Old Business**

None

4. **Approve Minutes – August 4, 2022**

K.Rogers made a motion to approve the minutes as presented. Second by C.Nicholas.
Motion passed unanimously.

5. **Other Business**

None

6. **Adjournment**

V.Nagardeolekar adjourned the meeting at 9:24pm.

Respectfully Submitted,

Michael D'Amato
Planning & Development