

**REVISED Agenda**  
**Tolland Design Advisory Board**  
**21 Tolland Green, Tolland, Connecticut**  
**Thursday, June 1, 2023 at 7:00 p.m., 2<sup>nd</sup> floor, **Conference Room B****

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1. Call to Order
2. New Business
  - 2.1. 33 Fieldstone Commons – Proposed 2,400 sq. ft. restaurant with a drive-through.  
Applicant: Prospect Enterprises, LLC
  - 2.2. 140 Tolland Stage Road – 17,000 sq. ft. gymnastics building. Applicant: Tri-Town  
Gymnastics.
3. Old Business
4. Approve Minutes – August 4, 2022 Regular Meeting
5. Other Business
6. Adjournment



May 22, 2023

Ref: 42896.00

David Corcoran, AICP  
Director of Planning and Development  
Town of Tolland  
21 Tolland Green  
Tolland, CT 06084

Re: Proposed Starbucks – Fieldstone Commons – Design Advisory Board Submission

Mr. Corcoran,

VHB, on behalf of our Client, Prospect Enterprises, LLC, is pleased to submit the following information and request to be placed on the Design Advisory Board's agenda for June 1, 2023:

- Five (5) copies of a planset prepared by VHB titled, "Proposed Starbucks" dated May 22, 2023. Please note that selected sheets such as the utility plan, site details and the erosion control plan have been excluded from this set
- Five (5) copies of the following architectural plans by BKA Architects dated May 22, 2023:
  - A101 Floor Plan
  - A400 Exterior Elevations
  - E-01 Exterior Elevations dated May 19, 2023

Please let us know if you require additional information in order to be placed on the June 1<sup>st</sup> agenda or if you have any questions.

Sincerely,

Vanasse Hangen Brustlin, Inc.

A handwritten signature in blue ink that reads "Paul Vitaliano".

Paul Vitaliano, P.E.

CT Director of Land Development  
pvitaliano@vhb.com

**Engineers | Scientists | Planners | Designers**

100 Great Meadow Road  
Wethersfield, Connecticut 06109  
P 860.807.4300  
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# Site Plans

Issued for	Local Approvals
Date Issued	May 22, 2023
Latest Issue	May 22, 2023

## Proposed Starbucks

33 Fieldstone Commons  
Tolland, Connecticut



### Owner

Capitol Ventures LLC  
231 Farmington Ave  
Farmington, CT  
06032

### Applicant

Prospect Enterprises, LLC  
231 Farmington Ave  
Farmington, CT 06032

**Assessor's Map: 28**  
**Lot: C2.03**

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Reference Drawings		
No.	Drawing Title	Latest Issue
Sv-1	Property Survey & Topographic Survey	March 14, 2022





100 Great Meadow Road  
Suite 200  
Wethersfield, CT 06109  
860.807.4300

### Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK			TOP OF CURB ELEVATION
		BASELINE	27.35 TC x	27.35 TC x	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	26.85 BC x	26.85 BC x	SPOT ELEVATION
		ZONING LINE	132.75 x	132.75 x	TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE	45.0 TW	45.0 TW	BORING LOCATION
		LIMIT OF DISTURBANCE	38.5 BW x	38.5 BW x	TEST PIT LOCATION
		WETLAND LINE WITH FLAG			MONITORING WELL
		FLOODPLAIN			UNDERDRAIN
		BORDERING LAND SUBJECT TO FLOODING	12"D	12"D	DRAIN
		WETLAND BUFFER ZONE	6"RD	6"RD	ROOF DRAIN
		NO DISTURB ZONE	12"S	12"S	SEWER
		200' RIVERFRONT AREA	FM	FM	FORCE MAIN
		GRAVEL ROAD	OHW	OHW	OVERHEAD WIRE
		EDGE OF PAVEMENT	6"W	6"W	WATER
		BITUMINOUS BERM	4"FP	4"FP	FIRE PROTECTION
		BITUMINOUS CURB	2"DW	2"DW	DOMESTIC WATER
		CONCRETE CURB	3"G	3"G	GAS
		CURB AND GUTTER	E	E	ELECTRIC
		EXTRUDED CONCRETE CURB	STM	STM	STEAM
		MONOLITHIC CONCRETE CURB	T	T	TELEPHONE
		PRECAST CONC. CURB	FA	FA	FIRE ALARM
		SLOPED GRAN. EDGING	CATV	CATV	CABLE TV
		VERT. GRAN. CURB			CATCH BASIN CONCENTRIC
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
		BUILDING			DOUBLE CATCH BASIN ECCENTRIC
		BUILDING ENTRANCE			GUTTER INLET
		LOADING DOCK			DRAIN MANHOLE CONCENTRIC
		BOLLARD			DRAIN MANHOLE ECCENTRIC
		DUMPSTER PAD			TRENCH DRAIN
		SIGN			PLUG OR CAP
		DOUBLE SIGN			CLEANOUT
		STEEL GUARDRAIL			FLARED END SECTION
		WOOD GUARDRAIL			HEADWALL
		PATH			SEWER MANHOLE CONCENTRIC
		TREE LINE			SEWER MANHOLE ECCENTRIC
		WIRE FENCE			CURB STOP & BOX
		FENCE			WATER VALVE & BOX
		STOCKADE FENCE			TAPPING SLEEVE, VALVE & BOX
		RETAINING WALL			FIRE DEPARTMENT CONNECTION
		STREAM / POND / WATER COURSE			FIRE HYDRANT
		DETENTION BASIN			WATER METER
		HAY BALES			POST INDICATOR VALVE
		SILT FENCE			WATER WELL
		SILT SOCK / STRAW WATTLE			GAS GATE
		MINOR CONTOUR			GAS METER
		MAJOR CONTOUR			ELECTRIC MANHOLE
		PARKING COUNT			ELECTRIC METER
		COMPACT PARKING STALLS			LIGHT POLE
		DOUBLE YELLOW LINE			TELEPHONE MANHOLE
		STOP LINE			TRANSFORMER PAD
		CROSSWALK			UTILITY POLE
		ACCESSIBLE CURB RAMP			GUY POLE
		ACCESSIBLE PARKING			GUY WIRE & ANCHOR
		VAN-ACCESSIBLE PARKING			HAND HOLE
					PULL BOX
					MATCHLINE

### Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
Typ	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

### Notes

- General**
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-800-922-4455) AT LEAST 72 HOURS BEFORE EXCAVATING.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
  - ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
  - AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 4 INCHES LOAM AND SEED.
  - WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
  - WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
  - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
  - TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
  - IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER MATERIAL AND SOIL CONTAMINATION AND NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
  - CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
  - DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
  - CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
  - THIS PROJECT DOES NOT DISTURB MORE THAN FIVE ACRES OF LAND AND THEREFORE DOES NOT FALL WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM OR CONNECTICUT DEEP JURISDICTION. SOIL EROSION AND SEDIMENT CONTROL PLAN TO BE APPROVED LOCALLY.
- Utilities**
- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
  - WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
  - SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
  - RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
    - PAVEMENTS AND CONCRETE SURFACES: FLUSH
    - ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
    - LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
  - THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
  - CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
  - UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
    - WATER PIPES SHALL BE TYPE K COPPER.
    - SANITARY SEWER PIPES SHALL BE SDR-35 POLYVINYLCHLORIDE (PVC) SEWER PIPE
    - STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) UNLESS STATED OTHERWISE ON THE SITE PLANS. BUILDING ROOF DRAINS SHALL BE PVC AS REQUIRED BY BUILDING CODE.
  - CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEMARK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASUREMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
  - CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
  - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

### Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- CURBING SHALL BE EXTRUDED CONCRETE CURB (ECC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

### Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- ALL EXISTING UTILITIES SHALL REMAIN, UNLESS OTHERWISE NOTED. UTILITIES CALLED OUT TO BE REMOVED SHALL BE REMOVED IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

### Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

### Existing Conditions Information

- THE BASE CONDITIONS SHOWN ARE FROM THE "PROPERTY SURVEY & TOPOGRAPHIC SURVEY" BY VHB DATED MARCH 14, 2022.
- OVERALL SITE CONDITIONS OF THE PLAZA ARE BASED ON THE INITIAL PROPOSED SITE PLANS FOR THE BIG Y DEVELOPMENT AND ARE FOR REFERENCE ONLY.

### Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

## Proposed Starbucks

33 Fieldstone Commons  
Tolland, Connecticut

No.	Revision	Date	Appr.

Designed by <b>KE</b>	Checked by <b>PV</b>
Issued for	Date

Local Approvals May 22, 2023

Not Approved for Construction

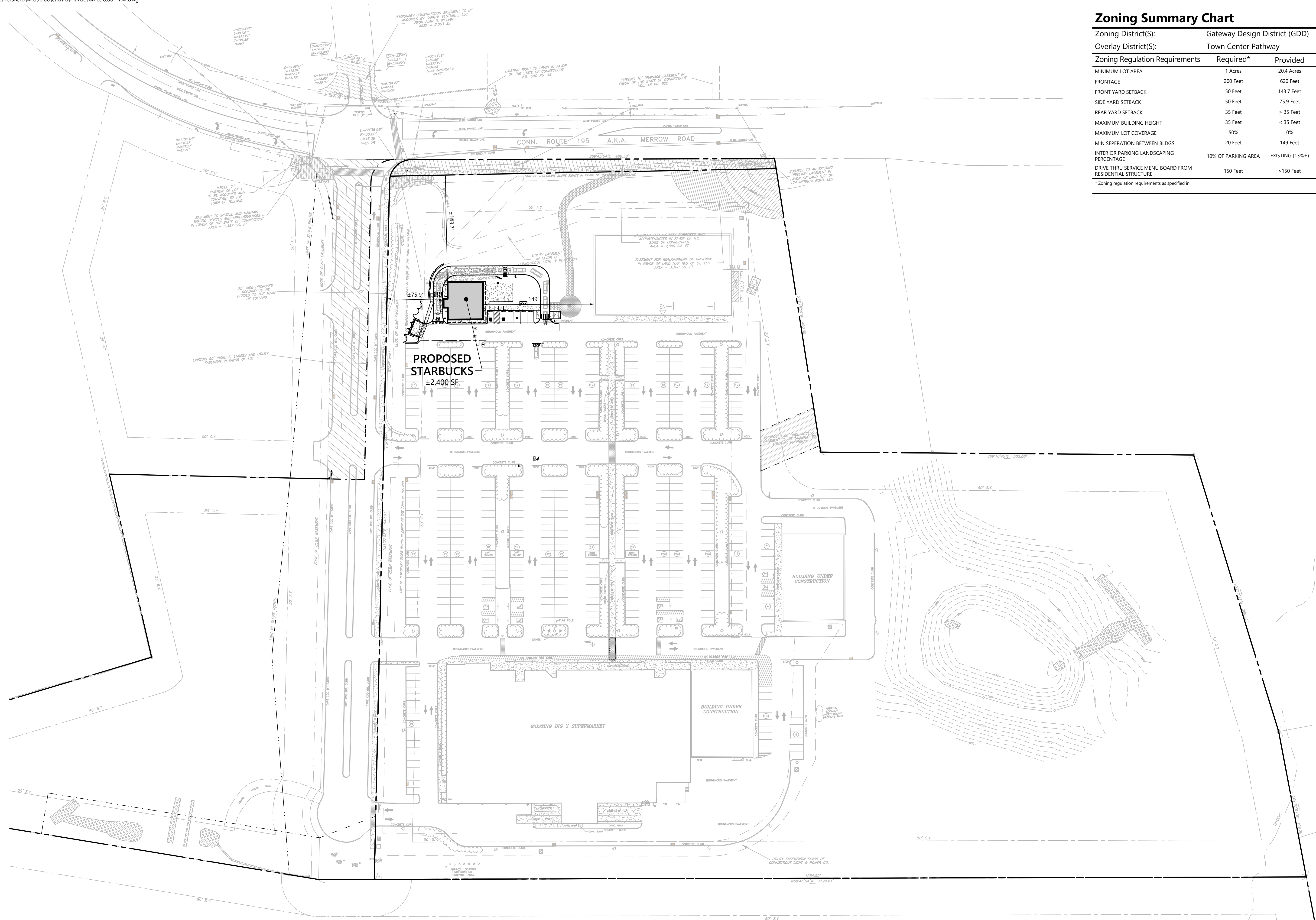
Drawing Title

# Legend

Drawing Number



# C-1



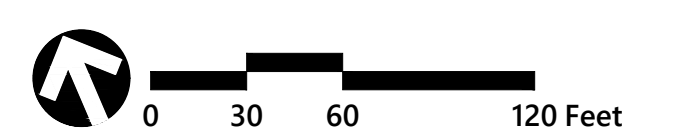
### Zoning Summary Chart

Zoning District(S):	Gateway Design District (GDD)	
Overlay District(S):	Town Center Pathway	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	1 Acres	20.4 Acres
FRONTAGE	200 Feet	620 Feet
FRONT YARD SETBACK	50 Feet	143.7 Feet
SIDE YARD SETBACK	50 Feet	75.9 Feet
REAR YARD SETBACK	35 Feet	> 35 Feet
MAXIMUM BUILDING HEIGHT	35 Feet	< 35 Feet
MAXIMUM LOT COVERAGE	50%	0%
MIN SEPERATION BETWEEN BLDGS	20 Feet	149 Feet
INTERIOR PARKING LANDSCAPING PERCENTAGE	10% OF PARKING AREA	EXISTING (13%±)
DRIVE THRU SERVICE MENU BOARD FROM RESIDENTIAL STRUCTURE	150 Feet	> 150 Feet

\* Zoning regulation requirements as specified in



100 Great Meadow Road  
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860.807.4300



### Proposed Starbucks

33 Fieldstone Commons  
Tolland, Connecticut

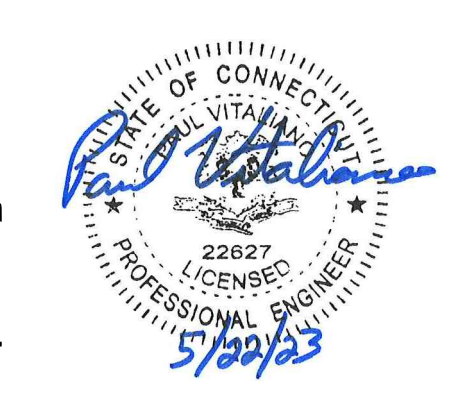
No.	Revision	Date	App'd

Designed by: KE      Checked by: PV  
 Issued for:      Date: May 22, 2023

Local Approvals

Not Approved for Construction

Drawing Title  
**Overall Site Plan**



C-2

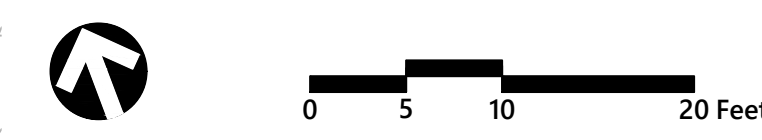
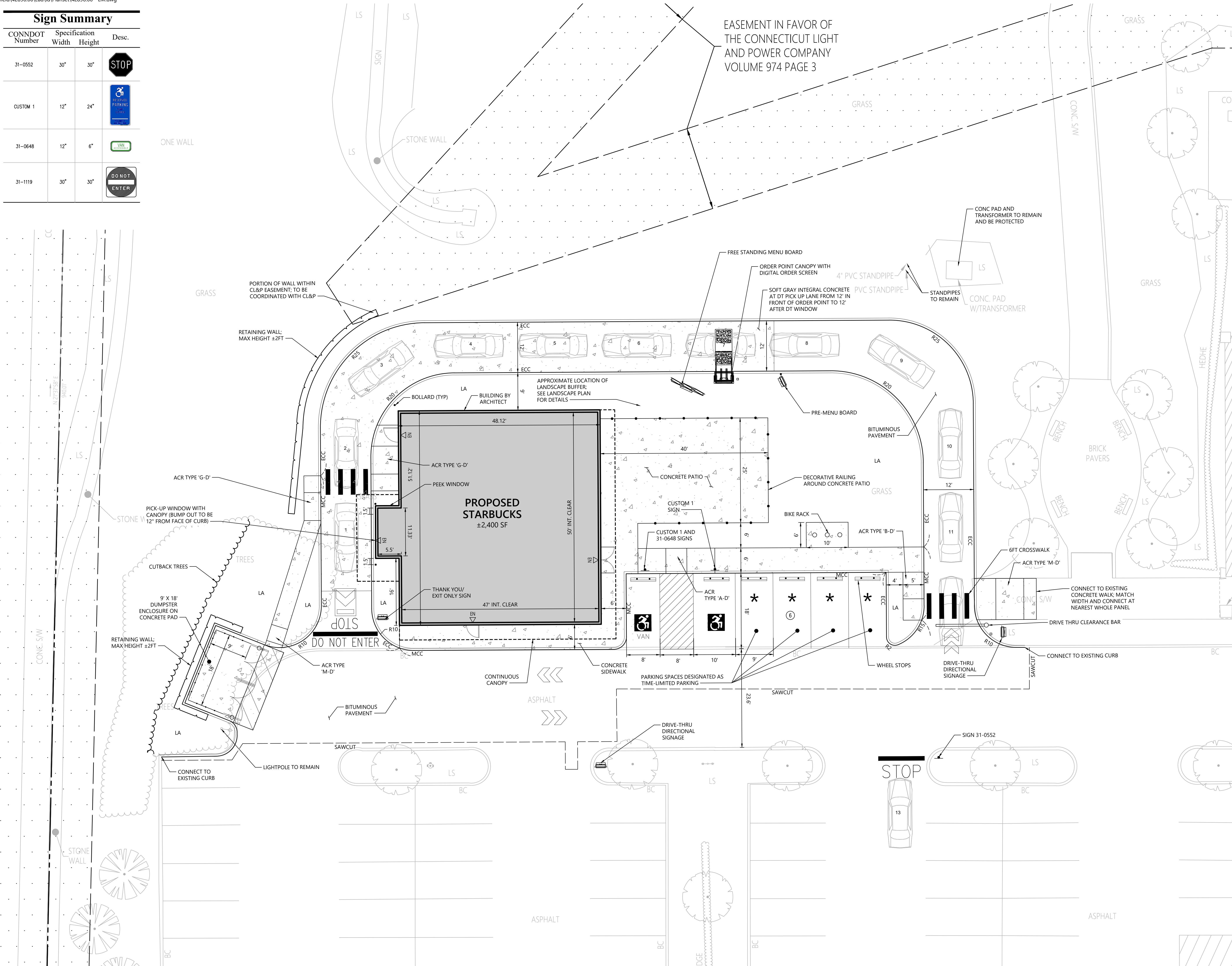
### Sign Summary

CONNDOT Number	Specification Width	Specification Height	Desc.
31-0552	30"	30"	
CUSTOM 1	12"	24"	
31-0648	12"	6"	
31-1119	30"	30"	



100 Great Meadow Road  
Suite 200  
Wethersfield, CT 06109  
860.807.4300

EASEMENT IN FAVOR OF  
THE CONNECTICUT LIGHT  
AND POWER COMPANY  
VOLUME 974 PAGE 3



### Proposed Starbucks

33 Fieldstone Commons  
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**Not Approved for Construction**

### Layout and Materials Plan

Project Number  
**42896.00**

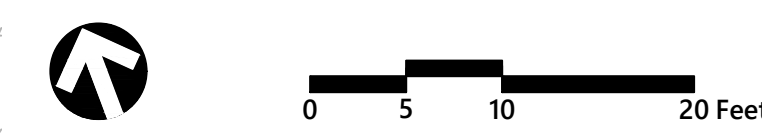
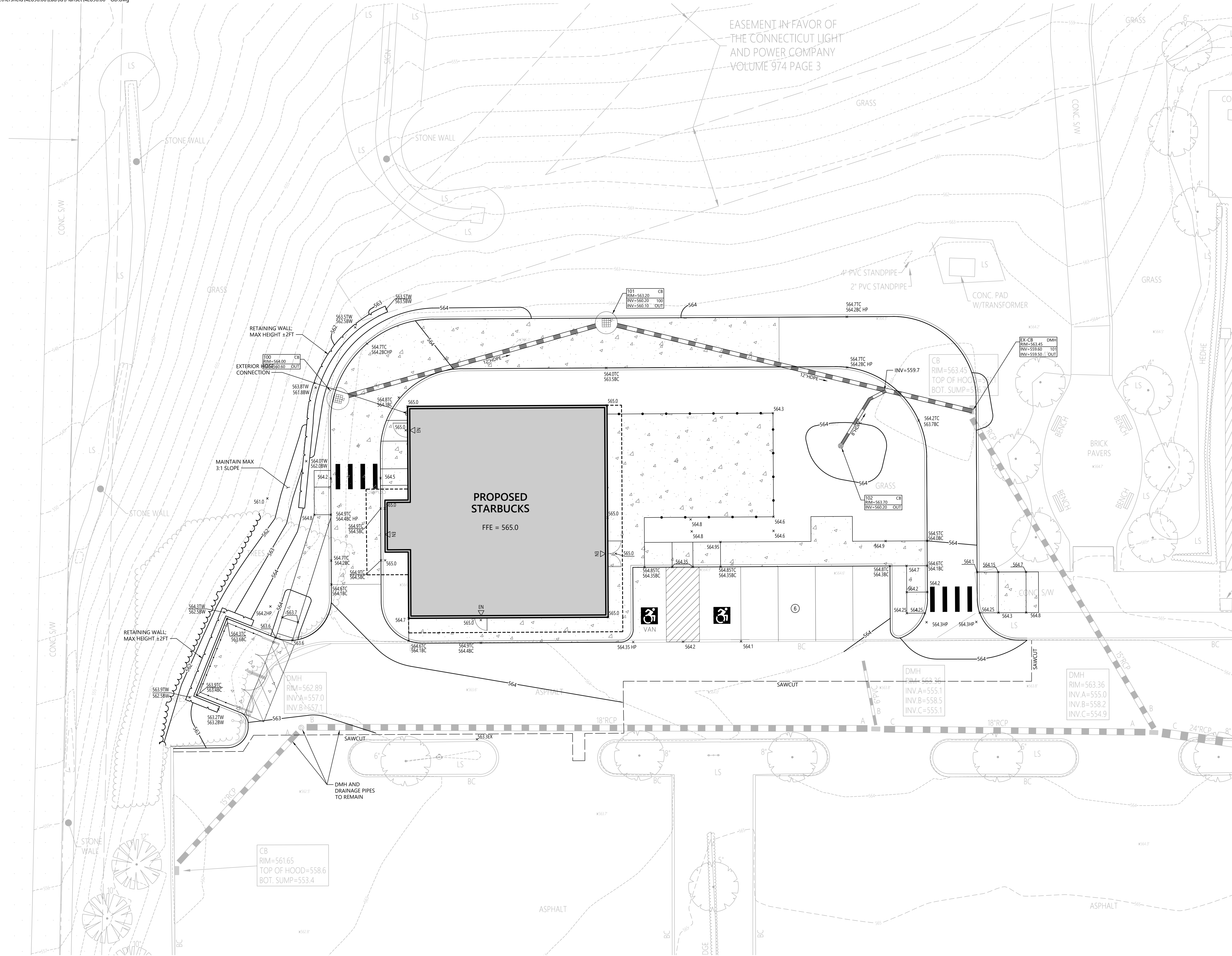
**C-3**

Saved Tuesday, January 3, 2023 5:13:23 PM REANNOTTI plotted Wednesday, May 17, 2023 5:51:38 PM Paul Vitaliano

EASEMENT IN FAVOR OF  
THE CONNECTICUT LIGHT  
AND POWER COMPANY  
VOLUME 974 PAGE 3



100 Great Meadow Road  
Suite 200  
Wethersfield, CT 06109  
860.807.4300



### Proposed Starbucks

33 Fieldstone Commons  
Tolland, Connecticut

No.	Revision	Date	App'd.

Designed by: KE      Checked by: PV  
Issued for:      Date: May 22, 2023

Local Approvals

Not Approved for Construction  
Drawing Title: **Grading and Drainage Plan**



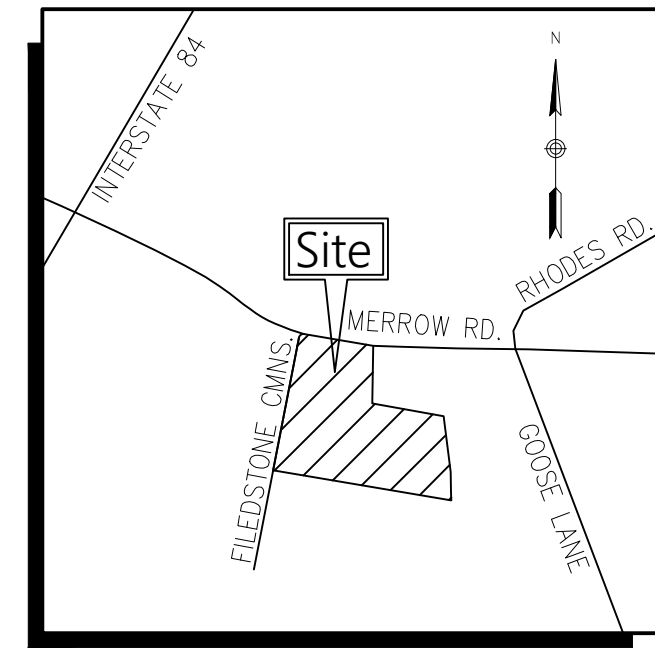
Drawing Number: **C-4**







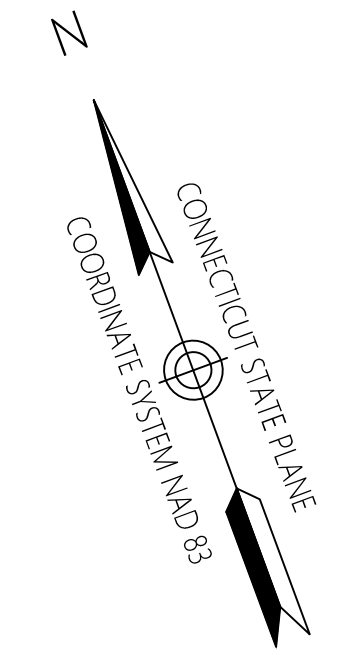
100 Great Meadow Road  
Suite 200  
Wethersfield, CT 06109  
860.807.4300



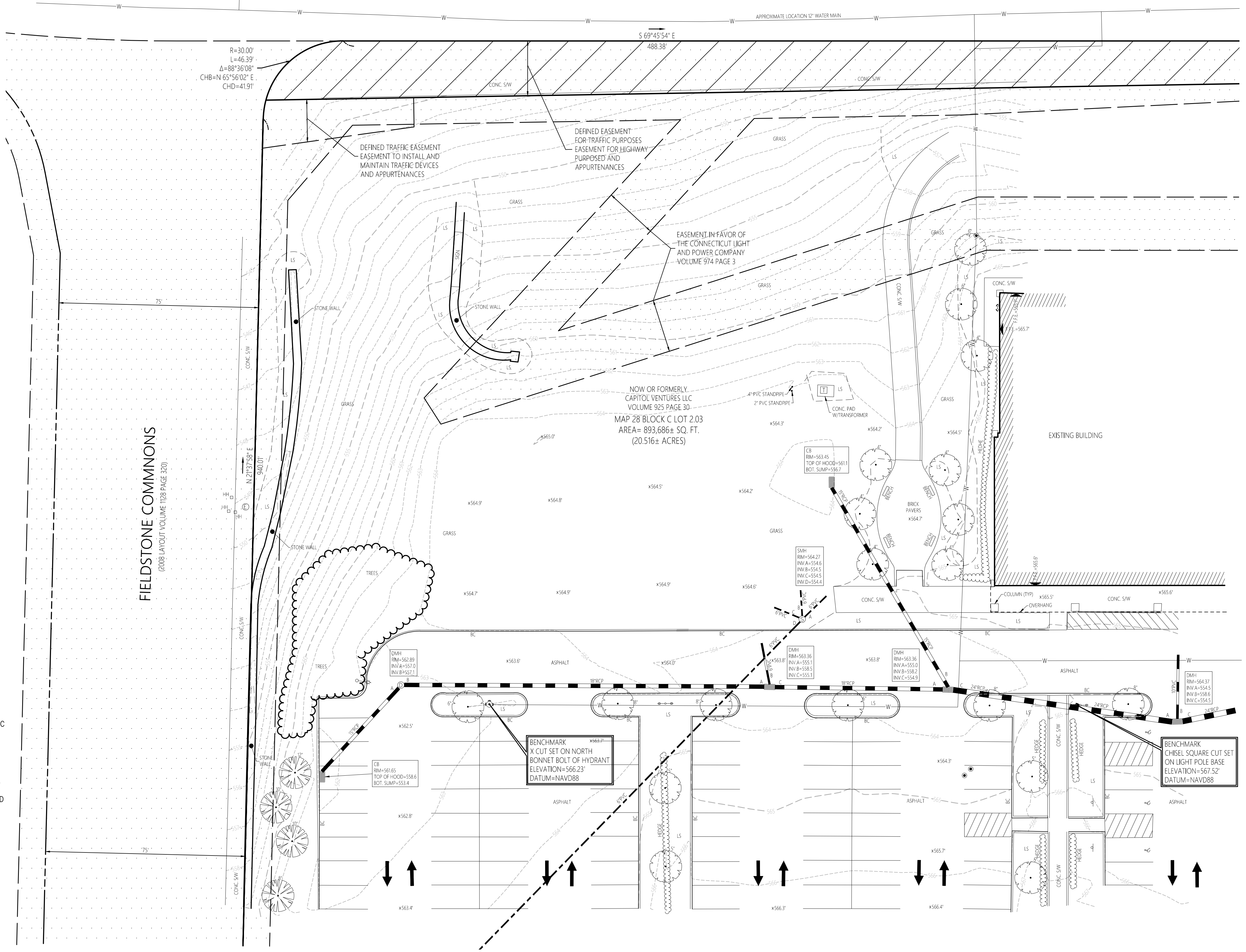
Locus Map  
(NOT TO SCALE)

Legend

- CC CONCRETE CURB
- SGC SLOPED GRANITE EDGING
- EOP EDGE OF PAVEMENT
- EOG EDGE OF GRAVEL
- BIT BITUMINOUS PAVEMENT
- CONC CONCRETE
- SAW CONCRETE SIDEWALK
- UP UTILITY POLE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYLCHLORIDE PIPE
- CMP CORRUGATED METAL PIPE
- CPP CORRUGATED PLASTIC PIPE
- DWL DASHED WHITE LINE
- CB CATCH BASIN
- MH MANHOLE
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- RM RIM ELEVATION
- INV INVERT ELEVATION
- ELEV ELEVATION
- F.F.E FINISH FLOOR ELEVATION
- TYP TYPICAL
- AC AIR CONDITIONING
- EB ELECTRIC BOX
- EM ELECTRIC METER
- GM GAS METER
- HH HAND HOLE
- PP PIN/PIPE FOUND
- MF MONUMENT FOUND
- PM PROPERTY MARKER SET
- BL BUILDING LIGHT
- CB CATCH BASIN
- CB CATCH BASIN
- RCB ROUND CATCH BASIN
- DS DOWNSPOUT
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- EM ELECTRIC MANHOLE
- TM TELEPHONE MANHOLE
- MH MANHOLE
- WG WATER GATE
- FH FIRE HYDRANT
- GG GAS GATE
- SS STREET SIGN
- LP LIGHT POLE
- UP UTILITY POLE
- UP UTILITY POLE W/LIGHT
- GW GUY WIRE
- BP BOLLARD/POST
- MW MONITORING WELL
- EP EDGE OF PAVEMENT
- EGR EDGE OF GRAVEL/LANDSCAPE
- BO BUILDING OVERHANG
- CU CURB
- SGR STEEL GUARD RAIL
- CLF CHAIN LINK FENCE
- SCF STOCKADE FENCE
- UDL UNDERGROUND DRAINAGE LINE
- USL UNDERGROUND SEWER LINE
- OHV OVERHEAD WIRE
- UEL UNDERGROUND ELECTRIC LINE
- UGL UNDERGROUND GAS LINE
- UWL UNDERGROUND WATER LINE
- PL PROPERTY LINE
- EL EASEMENT LINE
- SHL STATE HIGHWAY LINE
- CTL CITY/TOWN LAYOUT LINE



MERROW ROAD ROUTE #195  
(1939 HIGHWAY LAYOUT)



- Map Reference**
- MAP TITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR CAPITOL VENTURES, LLC 33 FIELDSTONE COMMONS TOLLAND, CONNECTICUT" SCALE 1"=40', DATED 9/12/06 REVISED TO 10/13/06, SHEETS 1-3.
  - MAP TITLED "COMPILATION PLAN MAP DEPICTING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF CAPITOL VENTURES, LLC & ROCKVILLE BANK CONN. ROUTE 195 TOLLAND, CONNECTICUT MAP NO. 9607CLP" SCALE 1"=100', DATED 2/23/205 REVISED TO 3/9/2005.
  - MAP TITLED "RIGHT OF WAY SURVEY TOWN OF TOLLAND MAP SHOWING EASEMENT ACQUIRED FROM CAPITOL VENTURES, LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION MERROW ROAD (CT ROUTE 195)" SCALE 1"=40', DATED FEBRUARY 15, 2005.
  - MAP TITLE "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF TOLLAND MERROW ROAD FROM TOLLAND CENTER SO. EASTERLY TO THE COVENTRY TOWN LINE NUMBER 142-05 SHEET 3 OF 8" SCALE 1"=40' DATED OCT. 31, 1939.

Map 28 Block C Lot 2.03  
33 FIELDSTONE COMMONS  
Tolland, Connecticut

No.	Revision	Date	App'd.

Designed by: JDD      Checked by: CCD  
 Issued for:      Date:      Client:      March 14, 2022

- General Notes**
- THE PROPERTY MARKERS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB ON FEBRUARY 21, 2022.
  - THE EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB ON FEBRUARY 21, 2022.
  - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES DEPICTED ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE DEPICTED ON THIS PLAN.
  - COORDINATES, HORIZONTAL DATUM AND BEARINGS DEPICTED ON THIS SURVEY ARE REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE GRID SYSTEM - NAD 83. THE VERTICAL DATUM DEPICTED ON THIS SURVEY IS REFERENCED TO THE NAVD88. BOTH DATUMS WERE COMPUTED AND MEASURED USING AVERAGED REAL TIME NETWORK (RTN) GPS SOLUTION.

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AMENDED OCTOBER 26, 2018.

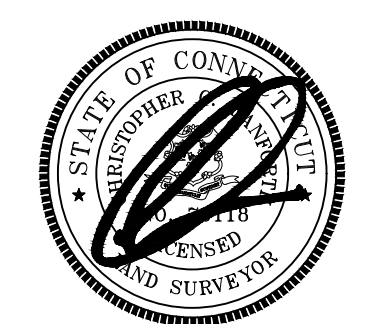
THIS IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL CLASS A-2 ACCURACY AND A TOPOGRAPHIC SURVEY CONFORMING TO A TOPOGRAPHICAL ACCURACY STANDARD CLASS T-2. THE BOUNDARY DETERMINATION IS A DEPENDANT RESURVEY.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS PLAN IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

*[Signature]*  
 CHRISTOPHER C. DANFORTH, L.S. #70118      DATE: 3/14/2022



Drawing Title  
**Property Survey  
 & Topographic Survey**



Sv-1

Sheet 1 of 1

Project Number  
42896.00

B:\projects\2023\23060300\_CAD\_and\_Drawing\CAD\_Base\_files\23060300\_Starbucks-Shell\_Toland-CT.rvt  
 Copyright © 2017 by BKA Architects, Inc. The architectural plans, drawings, designs, specifications and other arrangements on this sheet are and shall remain the property of BKA Associates, Inc. No part thereof shall be copied, disclosed to others, or used in connection with any work or project, other than that specified for which they have been prepared and developed, without the express knowledge and written consent of BKA Architects, Inc.  
 5/19/2023 12:18:03 PM ARCHITECT

CONSULTANT

SEAL



ISSUES & REVISIONS  
 04/24/2023 - FOR CLIENT REVIEW  
 05/22/2023 - SITE PLAN REVIEW

OWNER/CLIENT

PROJECT  
 STARBUCKS SHELL

33 FIELDSTONE COMMONS  
 TOLLAND, CONNECTICUT

DRAWING TITLE  
 FLOOR PLAN

DRAWING INFORMATION  
 Job Number: 223065  
 Checked By: KTB  
 Drawn By: LMH  
 DRAWING NUMBER

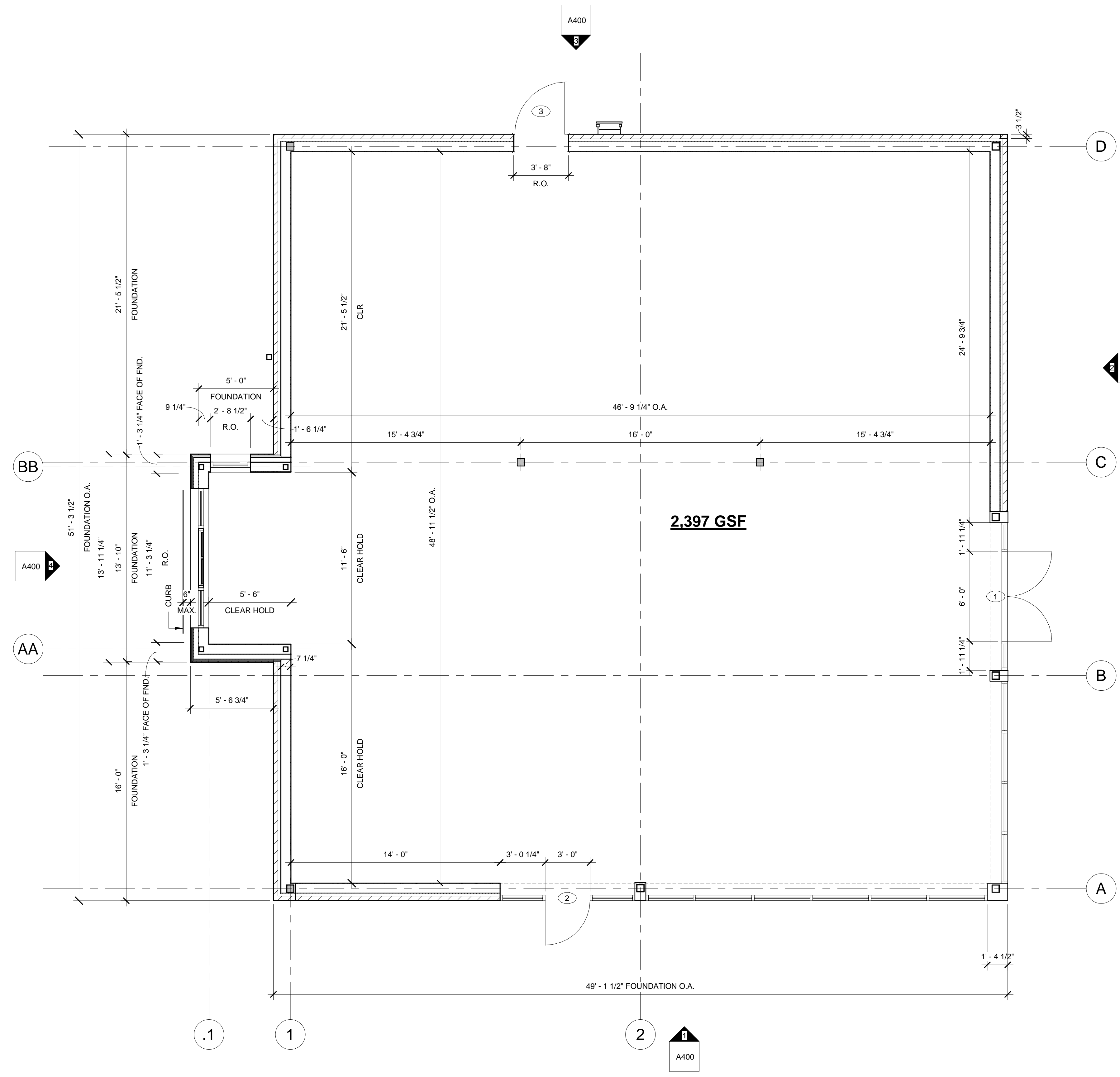
**A101**

**GENERAL NOTES**

- 1.) COORDINATE THE ARCHITECTURAL DRAWINGS WITH ENGINEERED CIVIL, STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS WITH THE WORK OF ALL TRADES.
- 2.) FINISH SLAB-ON-GRADE ELEVATION ASSUMED TO BE 0'-0". COORDINATE THE ACTUAL SITE DATUM WITH THE ENGINEERED CIVIL/SITE DRAWINGS.
- 3.) REFER TO THE CIVIL ENGINEERING DRAWINGS FOR GRADING, UNDERGROUND AND SURFACE UTILITIES, SITE IMPROVEMENTS, RETAINING WALLS, UNDERGROUND DRAINAGE, DETENTION BASINS, EXTERIOR WALKS, PARKING, STRIPING, H.C. SIGNAGE/SYMBOLS, CURB CUTS, LIGHTING, LANDSCAPING, ETC. AIA 201 GENERAL CONDITIONS CONTRACT SHALL BE THE BASIS FOR INCLUDING BUT NOT LIMITED TO GENERAL CONDITIONS.
- 4.) REFER TO THE ENGINEERED STRUCTURAL DRAWINGS FOR ALL NOTES, INFORMATION, AND DETAILS REGARDING FOOTINGS, FOUNDATIONS, SLABS, REINFORCEMENT, ANCHORING, BRACING, SUPERSTRUCTURE, FRAMING, CONNECTIONS, ETC.
- 5.) ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF G.W.B. TO FACE OF G.W.B. UNLESS SPECIFICALLY NOTED OTHERWISE. **DO NOT SCALE DRAWINGS.** REFER TO ENLARGED PLANS AND DETAILS FOR FURTHER DIMENSIONING INFORMATION. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ALL DEVIATIONS AND DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK. RECORD ALL MODIFICATIONS ON THE "AS-BUILTS" DAILY.
- 6.) FIRE EXTINGUISHERS TO BE PROVIDED BY TENANT.
- 7.) THE GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.
- 8.) THE G.C. SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ETC., INCLUDING COLOR CHARTS FOR PAINTS AND STAINS FOR ALL EXTERIOR AND INTERIOR FINISHES, TO THE ARCHITECT FOR SELECTION, REVIEW AND APPROVAL PRIOR TO FABRICATION, ORDERING, OR INSTALLATION. PRIORITIES ANY LONG-LEAD ITEMS.
- 9.) THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING MOUNTED EQUIPMENT, DEVICES AND FIXTURES.
- 10.) PERFORM ALL WORK IN ACCORDANCE WITH THE CURRENT MASSACHUSETTS BUILDING CODE & MAAB, AND ADAAG, AS WELL AS ALL LOCAL CODES AND ORDINANCES.
- 11.) THE G.C. AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES AS REQUIRED BY THE A.H.J.
- 12.) THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS OFF SITE.
- 13.) THE G.C. SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK (O.A.E.) AND SEALANT ON USG SAFING; 2500 PSI GROUT AT CMU WALLS.
- 14.) INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.
- 15.) COORDINATE SOLID F.R.T.W. BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES. ADDITIONALLY, F.R.T.W. SHALL BE USED WHEREVER WOOD IS USED, UNLESS OTHERWISE ALLOWED BY MA BUILDING CODE OR OTHER APPLICABLE CODES.
- 16.) PROVIDE CONTINUOUS GALVANIZED METAL EDGE TRIM AT ALL GWB WORK.
- 17.) THE G.C. SHALL INSTALL ALL INTERIOR FINISHES AT ALL SURFACES INDICATED ON THE DRAWINGS IN CONFORMANCE TO NYS BUILDING CODE. ALL DOORS SHALL HAVE LEVER HARDWARE TO CONFORM TO MAAB AND ADAAG.
- 18.) INSTALL USG .093 (OR APPROVED EQUAL) CONTROL JOINTS @ 30'-0" O.C. MAX. OR AS PER MANUFACTURER'S SUGGESTED DETAILS AND SPECIFICATIONS.
- 19.) FILL ALL VOIDS AT EXTERIOR WALL NOT VENTED TO THE EXTERIOR W/ ZERO-DRAFT FOAM INSULATION
- 20.) G.C. SHALL PROVIDE WATER METER, COORD. SIZE, TYPE & LOCATION W/THE TOWN WATER DEPT.

**LEGEND**

Name	ELEVATION
	SECTION
	DETAIL
	EXTERIOR ELEVATION
	STOREFRONT ELEVATION
	ROOM NUMBER
	DOOR NUMBER
	WINDOW TYPE
	REVISION NUMBER AND REVISION CLOUD



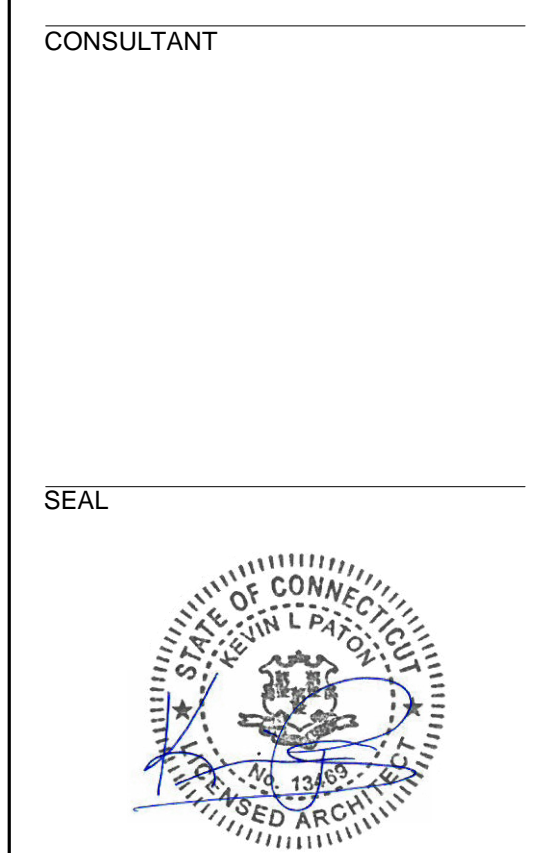
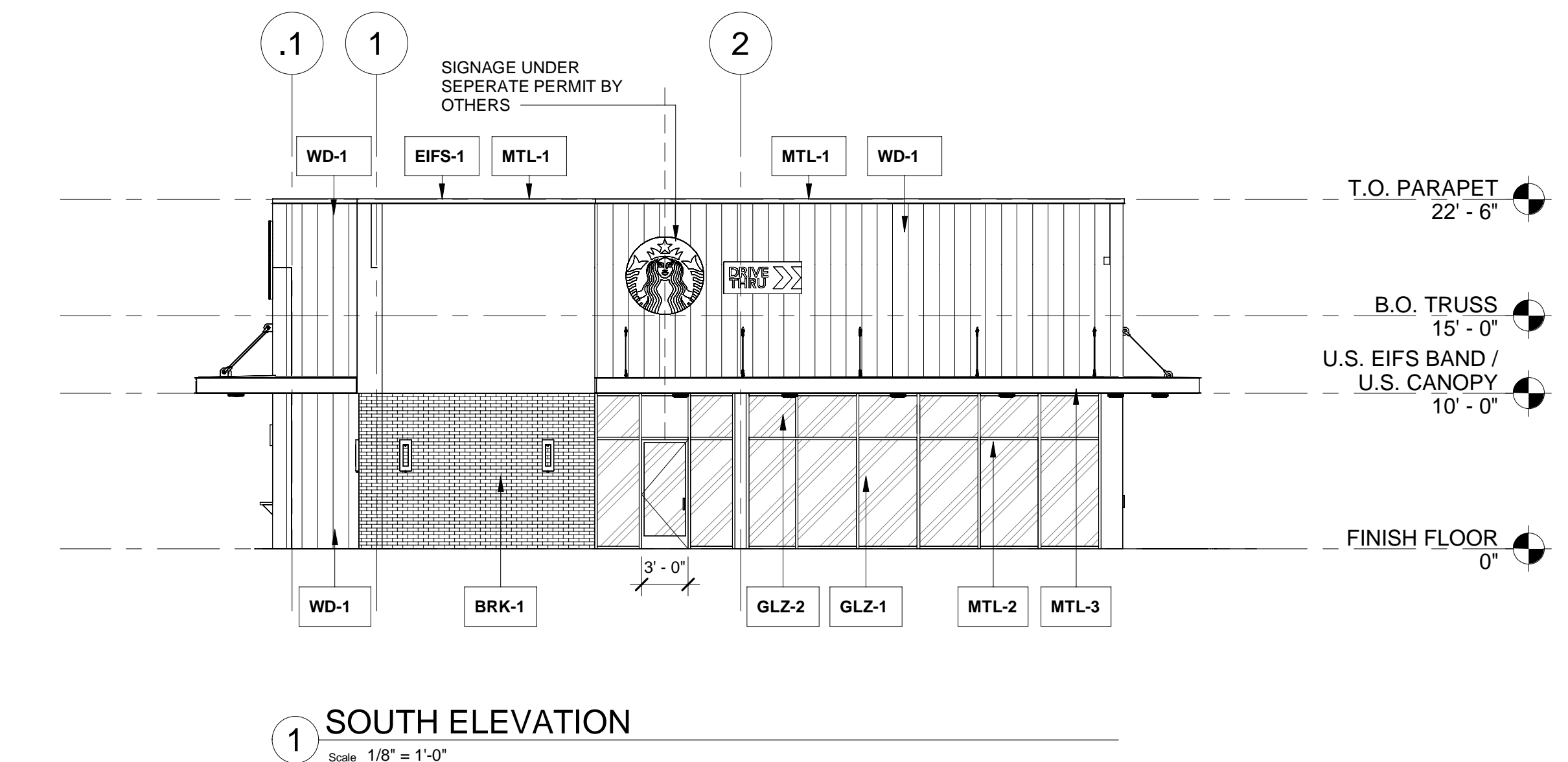
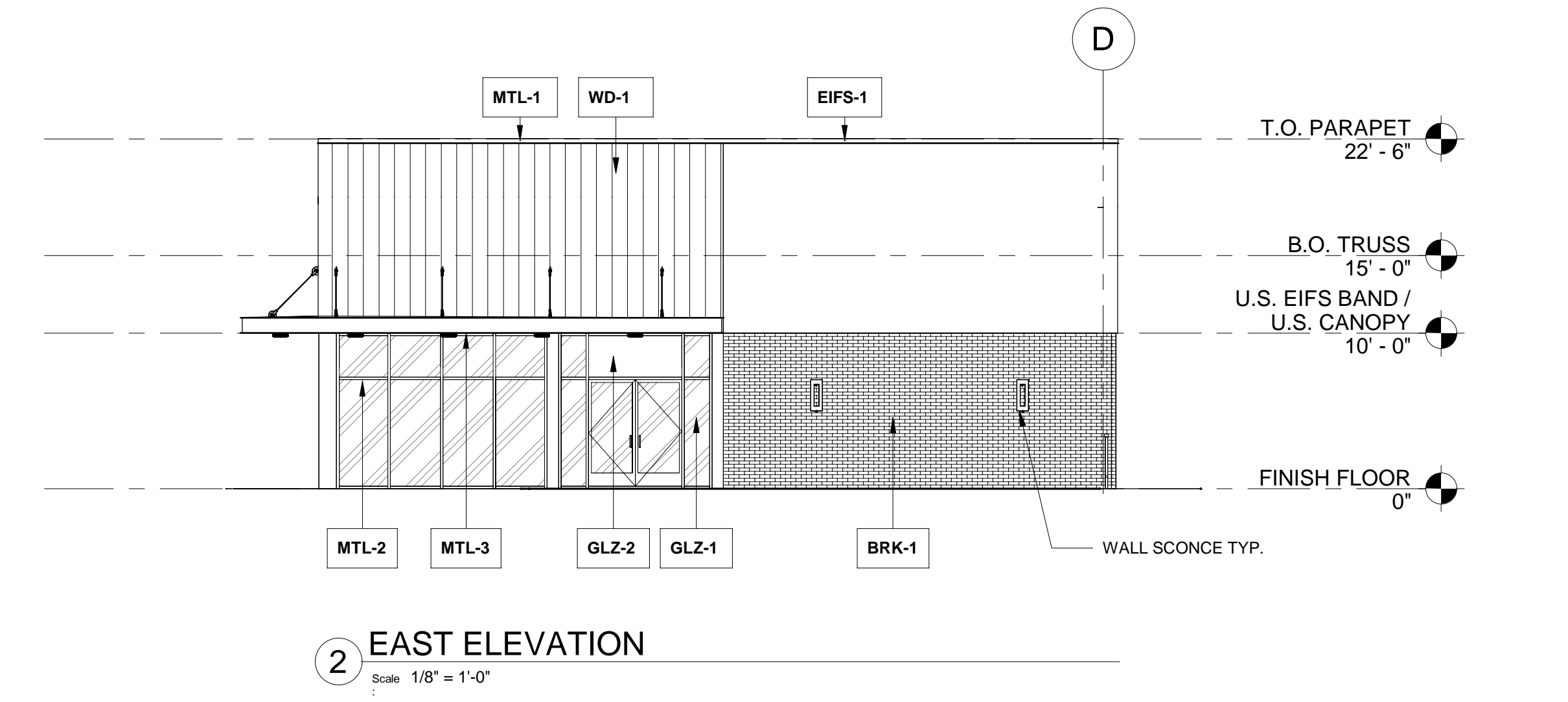
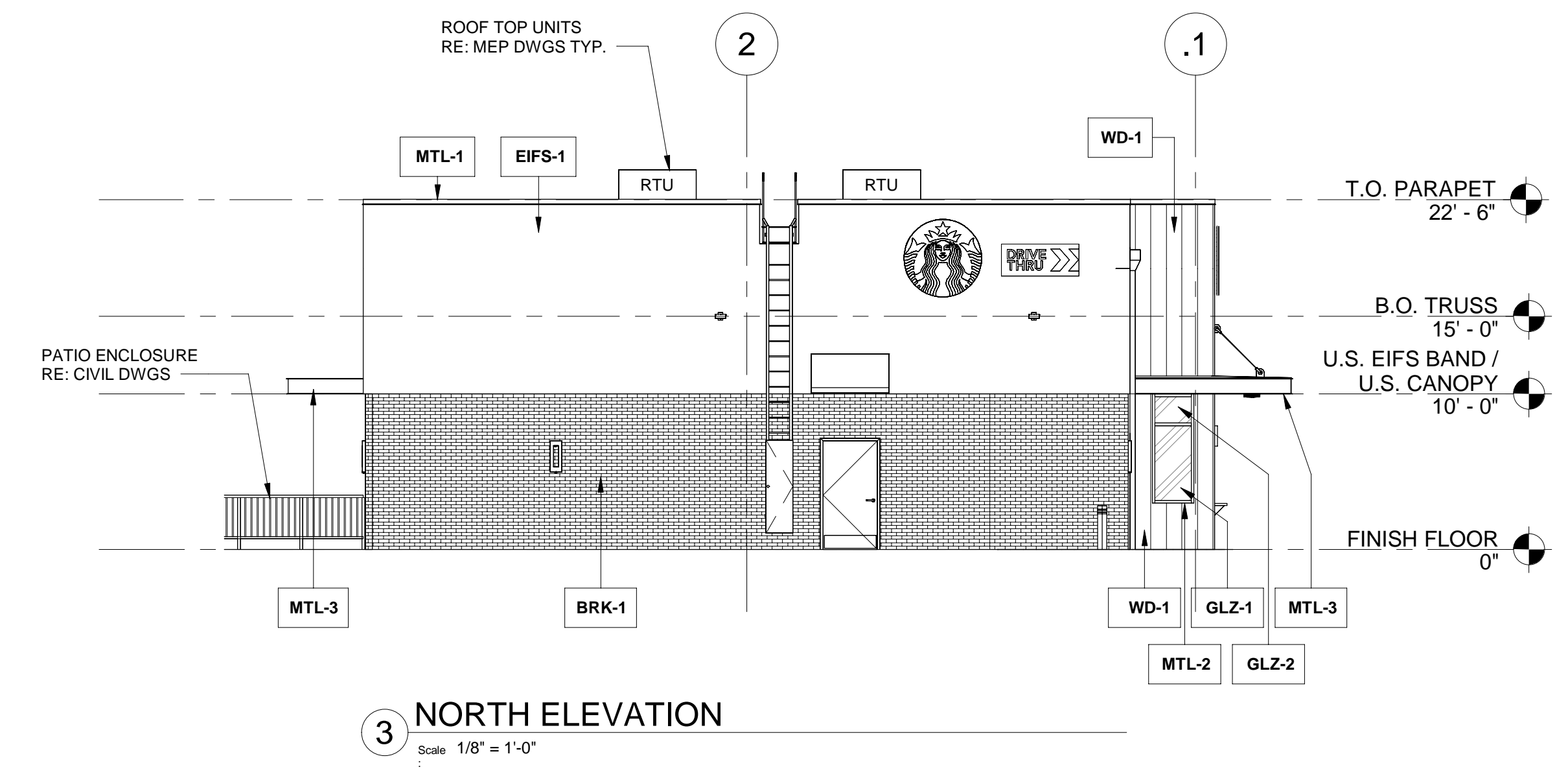
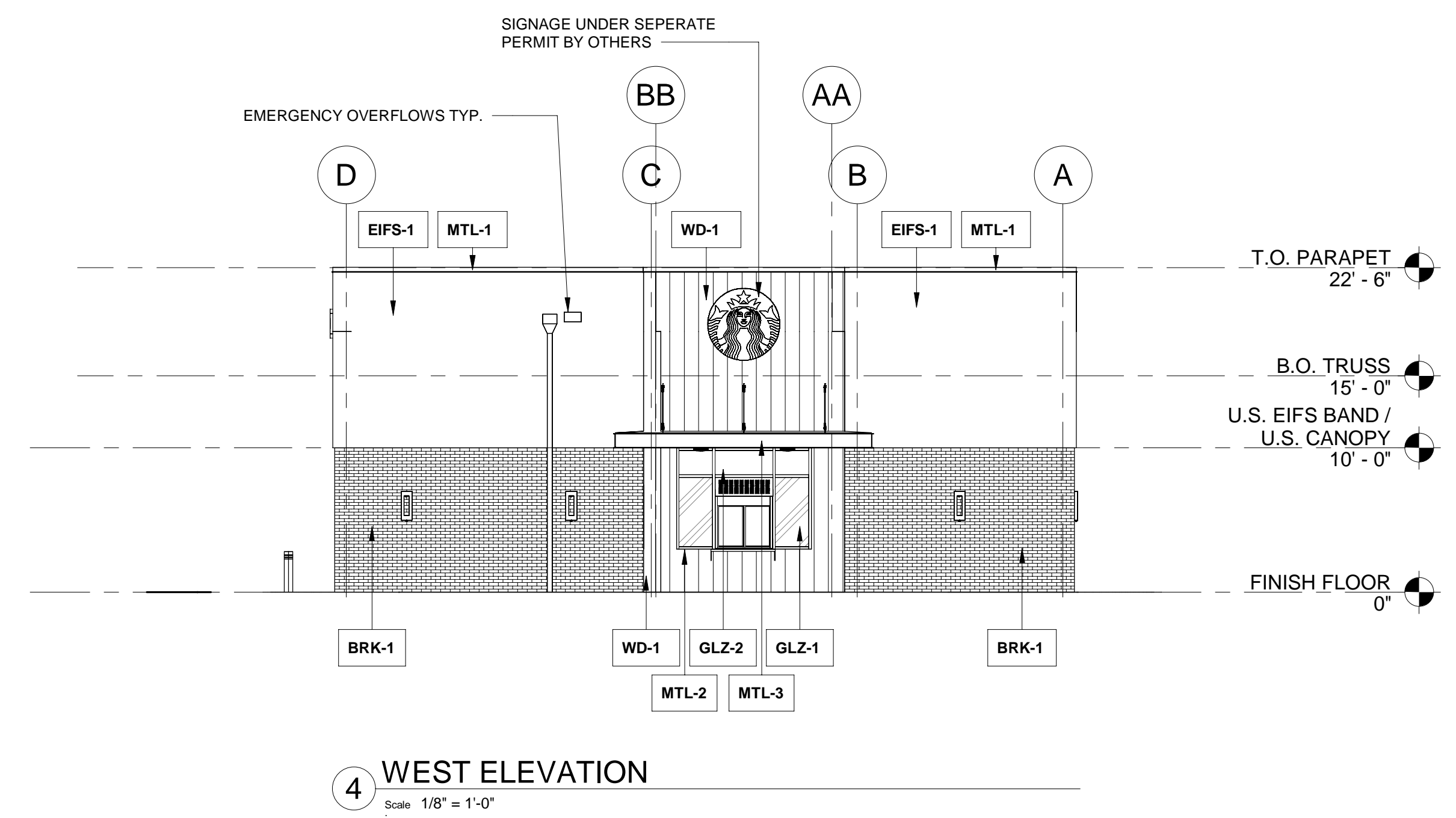
1 FLOOR PLAN  
 A101  
 1/4" = 1'-0"

\*Project Status 5/22/23 SITE PLAN REVIEW\*

### EXTERIOR ELEVATION NOTES

- A. SIGNAGE UNDER SEPERATE PERMIT
- B. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- C. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- D. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
- E. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO STARBUCKS DESIGNER FOR APPROVAL.
- F. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT
- G. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- H. ALL EXTERIOR UTILITY METER PANELS SHALL BE PAINTED TO MATCH ADJACENT SURFACES.
- I. GENERAL CONTRACTOR TO FINISH SAMPLES TO OWNER AND ARCHITECT FOR FINAL APPROVAL PRIOR TO INSTALLATION.

EXTERIOR FINISH SCHEDULE				
NO.	MATERIAL	MFG/FINISH/STYLE	COLOR	COMMENTS
BRK-1	FULL BRICK VENEER	MORA CERAMICA MODULAR 3-5/8" x 2-1/4" x 7-5/8"	SILVER GRAY SMOOTH WITH MATCHING MORTAR	
EFIS-1	EFIS	DRYVIT SANDPEBBLE FINE TEXTURE W/ STRATOTONE COLORANT	STAR-05 1022 ST	
GLZ-1	GLAZING	SOLAR BAN 60 CLEAR	CLEAR	REFER TO SHEET A700 FOR TEMPERED GLASS LOCATIONS
GLZ-2	GLAZING	SPANDREL		
MTL-1	METAL COPING	PRE-FINISHED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-2	ALUMINUM STOREFRONT SYSTEM	ANODIZED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-3	BRAKE METAL	POWDERCOAT	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-4	HOLLOW METAL DOOR & FRAME	SHERWIN WILLIAMS PAINTED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-5	METAL AWNING	POWDERCOAT	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
WD-1	WOOD SIDING	RESAWN TIMBER CO. SEALED FACE AND BACK 3/4" THICK X 5-3/8" WIDE X 8' X 16' RANDOM LENGTHS	UNAGI- SHOU SUGI BAN W/ DADOS PROFILE	VERTICAL ORIENTATION
WD-4	ACCOYA WOOD SIDING @ UNDERSIDE OF CANOPY	TONGUE AND GROOVE PLANK SEALED FACE AND BACK 3/4" THICK X 5-3/8" WIDE X 8'-16' RANDOM LENGTHS	GOBI	



ISSUES & REVISIONS  
04/24/2023 - FOR CLIENT REVIEW  
05/22/2023 - SITE PLAN REVIEW

OWNER/CLIENT

PROJECT  
STARBUCKS SHELL

33 FIELDSTONE COMMONS  
TOLLAND, CONNECTICUT

DRAWING TITLE  
EXTERIOR ELEVATIONS

DRAWING INFORMATION  
Job Number: 223065  
Checked By: KTB  
Drawn By: LMH  
DRAWING NUMBER

**A400**

\*Project Status 5/22/23 SITE PLAN REVIEW\*



## **Article 10: Gateway Design District (GDD)**

---

### **Section 10-1. Purpose**

The purpose of the Gateway Design District is to:

- A. Create an attractive entrance to Tolland while encouraging coordinated commercial, office, mixed-use and multi-family developments with high design standards at the interstate gateway entrances to the community;
- B. Promote compact commercial development having scale and form consistent with the natural landforms of the site and the character of the town; and
- C. Promote greater diversity in housing options by encouraging multi-family housing in appropriate locations served by public water and sewer and in walkable distance to commercial centers.

### **Section 10-2. General Concepts/Design Guidelines**

These standards and guidelines require a basic level of architectural variety, compatible scale, and mitigation of negative impacts. They are not intended to limit creativity. The purpose of these standards and guidelines is to augment existing criteria with more specific interpretations that apply to the design of GDD developments. This district is intended to encourage smaller sites to combine with other sites in order to provide larger-scale sites and developments.

#### **A. Siting**

- 1. Depending on the overall site design, and where otherwise practicable, buildings should be sited toward the front of the lot and should maintain a pleasing spatial relationship with other buildings and public and interior-access roadways.
- 2. Structures should be sited in small groups wherever feasible.
- 3. The use of additive massing (the bulk of the building is broken into smaller sections and horizontally offset) to provide visual interest is desired.
- 4. All effort should be made to preserve and enhance historic structures, unique landforms, rock outcrops, stone walls, vegetation, views, etc. and incorporate them into site design.
- 5. Siting should not be detrimental to scenic vistas of the gateway from any public street including I-84. Items of special concern include the placement of dumpsters, loading docks, roof-mounted mechanical units, and antennas.
- 6. The design of the storm water treatment system shall contain strategies associated with low impact development to the maximum extent possible (MEP) as outlined in the Town

of Tolland Design Manual. This provision shall also apply to improvements or redevelopment of existing commercial sites. If stormwater detention/retention basins are necessary, provisions shall be made for shared structures and shared maintenance to the maximum extent feasible.

**B. Access**

1. Access management will be required on all sites, in order to reduce the number of driveway cuts onto adjacent roads and mitigate the deterioration of traffic flow generally caused by driveways on public roads. Access management techniques include shared driveways (or provisions for future shared driveways for the first site in the area) or interconnected driveways.
2. Use shared parking with abutting properties wherever feasible.
3. Provide safe, convenient pedestrian circulation, which also provides access to off-site sidewalks, trails, parks and other public places.
4. Locate large parking areas at the side or rear of building where practical with landscaping designed to create visual assets.

**C. Site Amenities**

1. Create pedestrian spaces such as plazas, "greens", commons and terraces within the development.
2. Add or create amenities such as benches, fountains, sculptures, art, bike racks, sitting walls, planters, period-style lighting or banners.
3. Use creative landscaping design, with plantings of sufficient size and quantity to clearly enhance the site.

**D. Architectural Guidelines**

The purpose of architectural design review is to provide insights regarding Tolland's design objectives, to encourage aesthetically pleasing commercial structures, to reduce massive scale and uniform impersonal appearance, to provide visual interest and scale consistent with the Town's identity, size and character. All applications for Special Permit shall require design review with consideration given to the following guidelines:

1. Facades.
  - a. No uninterrupted length of any facade shall exceed 100 feet and shall incorporate wall plane projections or recesses.

- b. The ground floor facade facing a public street should incorporate display windows, awnings or other such features to create visual interest.
  - c. Windows should be recessed and should include visually prominent sills, shutters or other such forms of framing.
  - d. All building facades that are visible from a public street, including I-84 and its ramps, should be attractively designed with windows and other architectural elements so that no visible elevations looks like the back of a building.
2. Roofs.
    - a. Variations in roof lines should be used to add interest and complement the character of the Town.
    - b. Rooftop equipment such as HVAC units shall be screened from public view with parapets featuring three dimensional cornice treatments.
3. Materials, colors and detail features.
    - a. Building facades should include a repeating pattern including color, texture or change of materials.
    - b. Predominant exterior building materials should be high quality materials such as brick, wood, sandstone and other native stone or tinted textured, concrete masonry units.
    - c. Facade colors should be low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors, metallic colors, black or fluorescent colors is discouraged.
    - d. Predominant exterior building materials should not include smooth-faced concrete block or pre-fabricated steel panels.

### **Section 10-3. Uses**

#### **A. Permitted Uses**

The followings principal uses are permitted, if legally existing on or before August 1, 2000:

1. Single-family dwelling.
2. Motor vehicle sales.
3. Motor vehicle repair.
4. Accessory uses subject to the provisions of Article 17.

## project information

This 17,000 sf bldg is proposed to provide physical education and gymnastics training for 4-14 year old students. The driveway entrance at 140 Tolland Stage Rd. will enable sightlines. (Typical access to the public will be provided for less than 50 occupants).

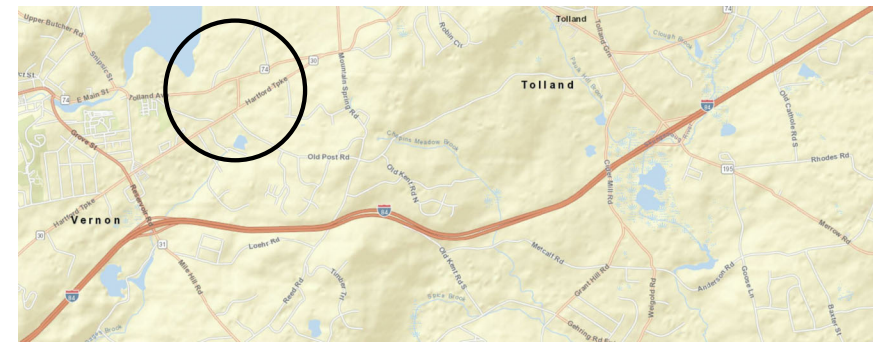
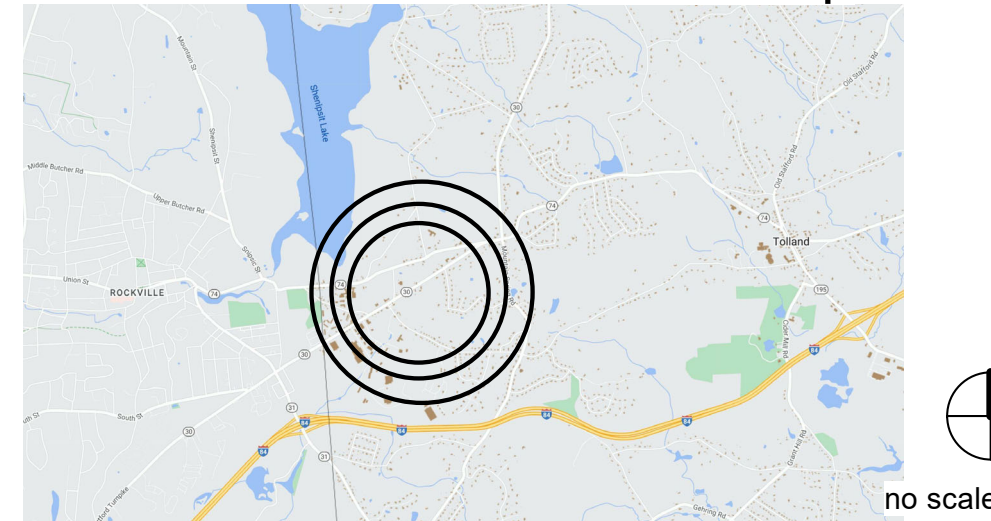
Note:  
Interior Construction will provide additional foundation sub-structure to enable the functional activities. Levels will be defined in Sections and Section Details.

District: Landmark: not applicable

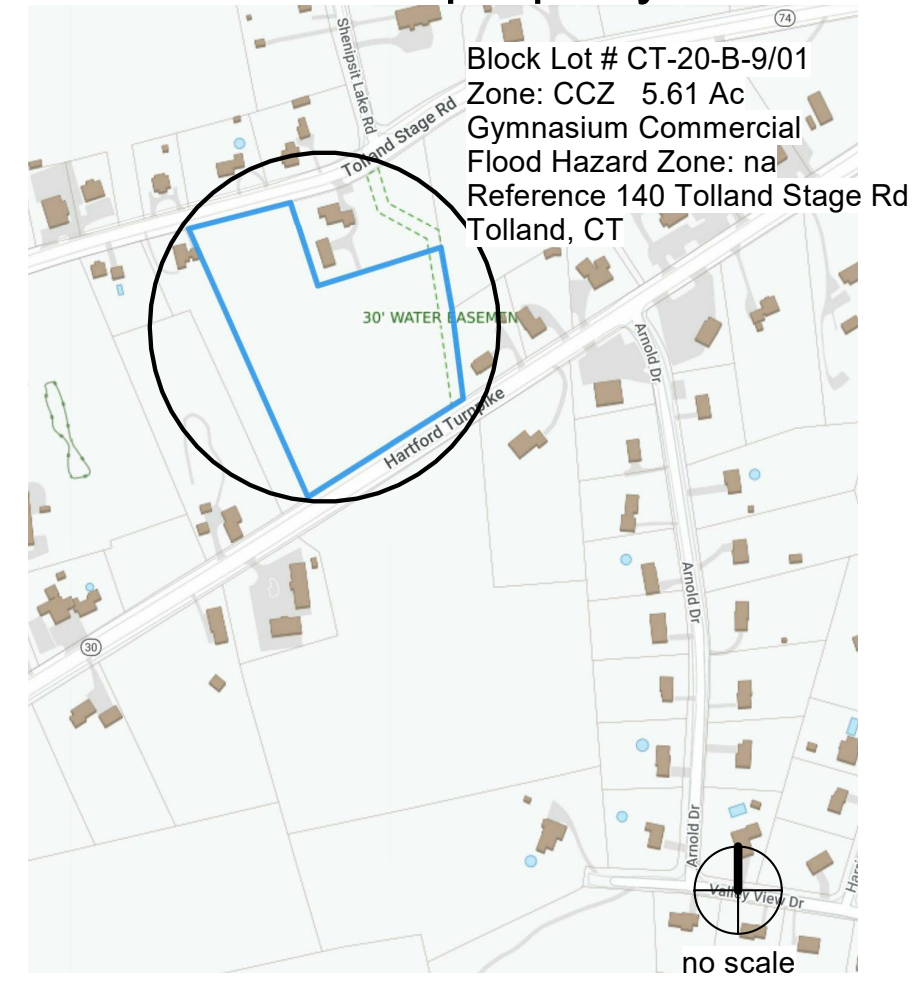
Scope of Work: Pre-Engineered Modular Building - New Construction includes site work, sub-structure, superstructure, utilities, supply & waste lines, paving & parking.

Proposed Work:  
Occupancy Class: A3 - Gymnasium  
Construction Class: Type IIIB  
IBC 2021 & CT Amendments 2022  
This layout is for feasibility studies only.  
All measurements to be verified in field.

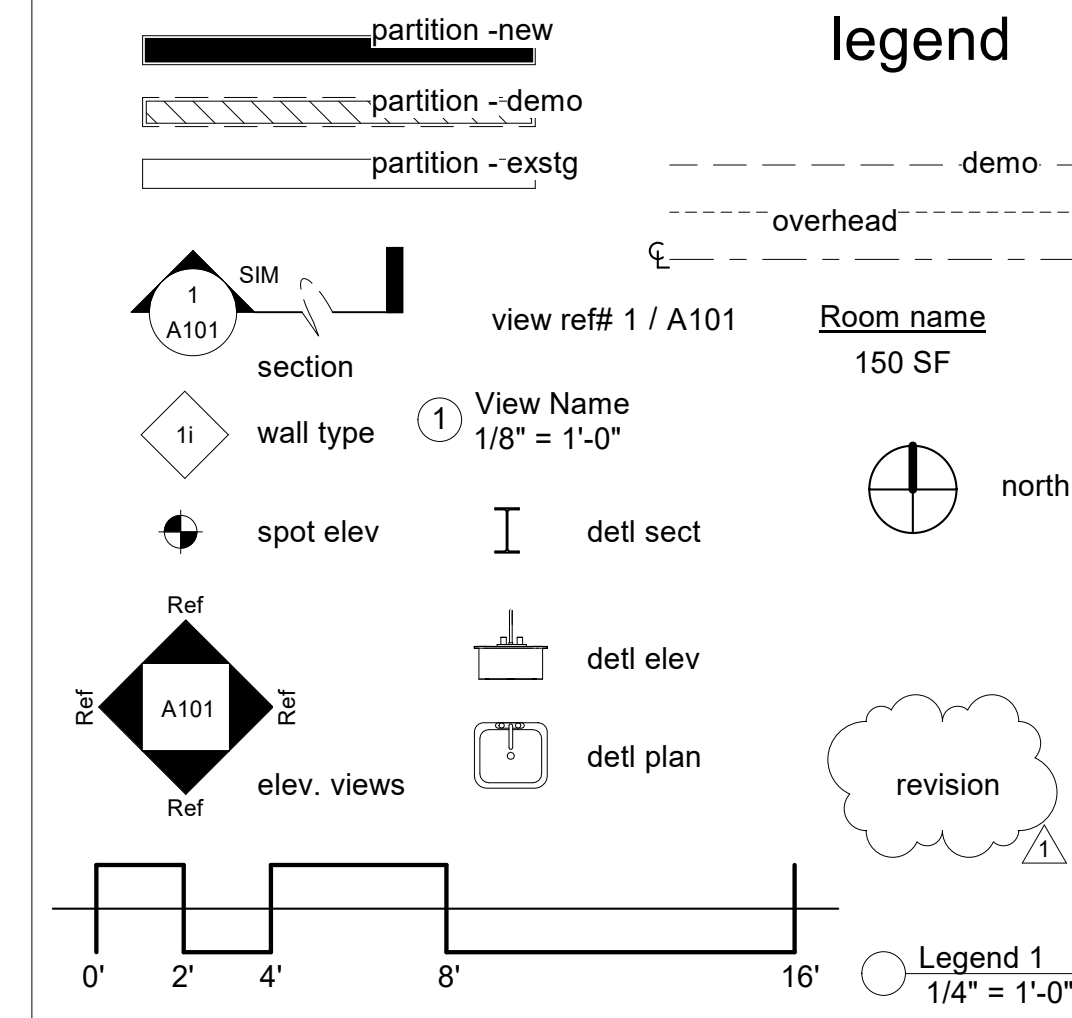
## locus map



## property information



## legend



## preview studies drawings list

- A - 001 - Cover Page
- A - 100 - 3D Views
- A - 101 - Floor Plans
- A - 103 - Sections
- A - 104 - Elevations

no. description date

preliminary  
23\_0522

preliminary  
23\_0524

These drawings are instruments of service only for use in this project as preliminary studies only. Dimensions and existing conditions must be field verified with any discrepancies to be submitted as written notices to the architect.

## project notes

### general construction

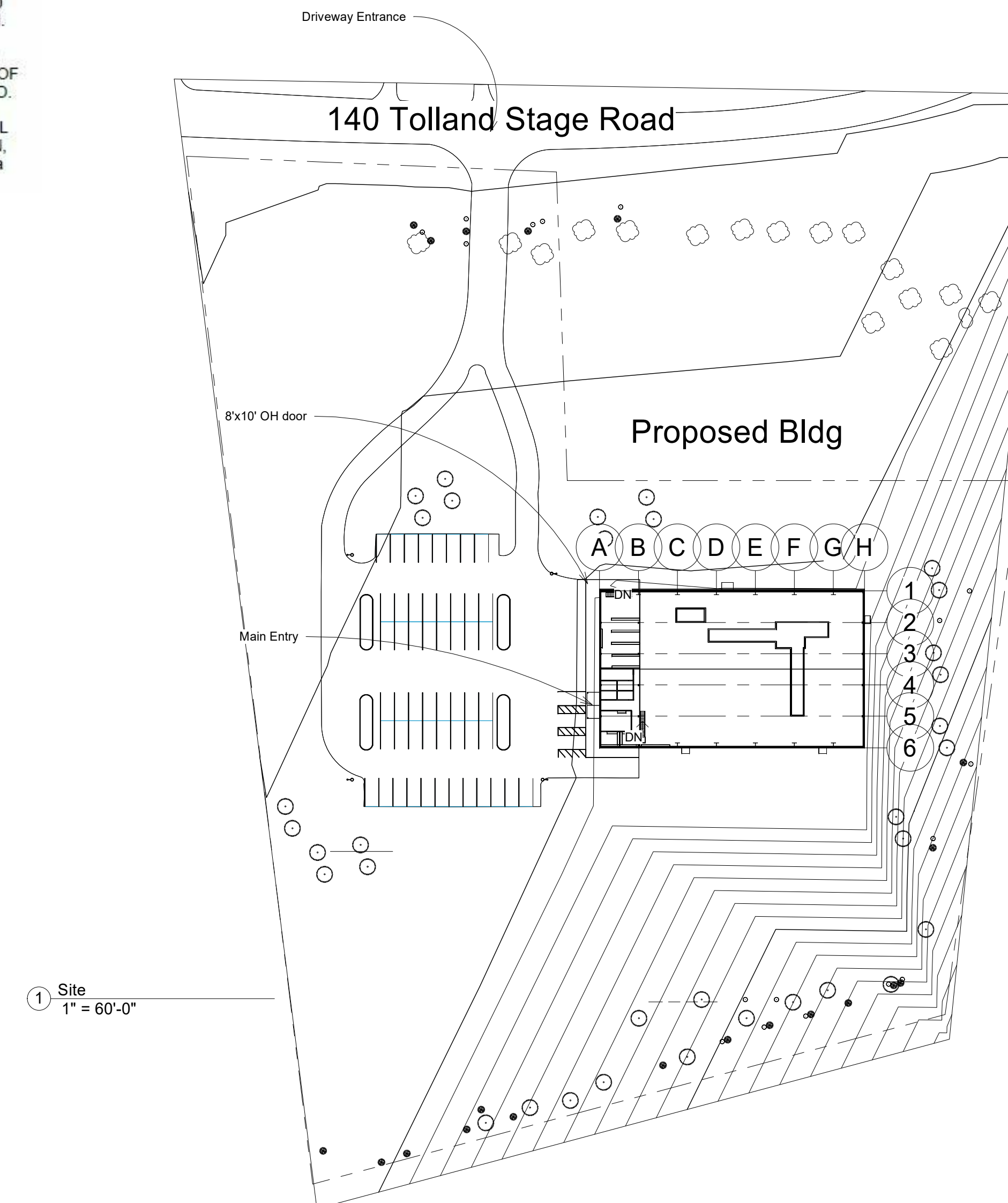
1. THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS, JOB AND EXISTING CONDITIONS, AS WELL AS DETAILS THAT RELATE TO NEW WORK PRIOR TO THE START OF ANY WORK, REPORTING ANY DISCREPANCIES TO THE ARCHITECT.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROPERTY AND PUBLIC SAFETY REQUIREMENTS DURING AND UNTIL THE COMPLETION OF WORK.
3. DIMENSIONS ARE PROVIDED ON THE DRAWINGS, WHICH MUST NOT BE SCALED. IF ANY DISCREPANCIES ARE FOUND THE ARCHITECT SHALL BE NOTIFIED BY CONTRACTOR.
4. THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF DISCREPANCIES, UNFORESEEN CONDITIONS OR CHANGES TO THE WORK. IF CHANGES TO APPROVED PLANS ARE REQUIRED OR NECESSARY, SUBSEQUENT AMENDMENTS WILL BE FILED AND APPROVED BEFORE WORK COMMENCES.
5. EQUIPMENT LOCATIONS SHOWN WITHOUT DIMENSIONS WILL INVOLVE FIELD ADJUSTMENTS BY THE CONTRACTOR AS REQ'D.
6. ELECTRICAL WIRING, PANELS, SWITCHES, OUTLETS WILL MEET IBC 2015 ELECTRICAL CODE & INSTALLED BY LICENSED ELECTRICIAN.
7. CEILING OPENINGS FOR ELECTRICAL DEVICES MAY NOT EXCEED 15 SF PER 90 SF OF CEILING SURFACE.
8. WIRING AND PIPING ARE SHOWN BY DIAGRAMS WITHOUT DETAIL OR SPECIFICATIONS SUBJECT TO RESPONSIBILITY & REVIEW BY LICENSEE.
9. SUSPENDED CEILINGS TO COMPLY WITH IBC 2015.
10. AT THE PROJECT'S SUBSTANTIAL COMPLETION, CONTRACTOR WILL FURNISH COPIES OF AS-BUILT DRAWINGS WITH PERMIT SIGN-OFFS FROM CONST., MECH., ELECT., & PLUMBING DIVISIONS.
11. STRUCTURAL SLABS, DEMISING, EXTERIOR & CHASE WALLS MAY NOT BE MODIFIED OR ALTERED WITHOUT WRITTEN CONSENTS FROM BLDG. MGMT. na
12. THE INTEGRITIES OF FIRE RATINGS FOR BEAMS AND COLUMNS WILL BE MAINTAINED AS IS. ANY DISRUPTION OR DISTURBANCE MUST BE REPLACED AND/OR RESTORED PRIOR TO APPLICATION OF FINISHES.
13. CINDER CONCRETE SLABS REQUIRE MECHANICAL FASTENERS ANCHORS, HILTI OR APPROVED EQ., WITH A PULL TEST. NO POWDER ACTUATED FASTENERS ALLOWED. na
14. CEMENTITIOUS BACKER WALLBOARDS WILL PROVIDE VERTICAL SUPPORT FOR ALL TILE INSTALLATIONS: ANSI A 108.11. na
15. GYPSUM WALLBOARD, (GWB) SHALL MEET U.L. FIRE RESISTANCE RATINGS & ASTM C-36, TYPE III, CL. 1, STYLE 3, TAPER EDGED SPEC. na
16. STUDS SHALL BE MIN. 22 GA CHANNEL SHAPED METAL, FLANGES MINIMUM 1 1/4" WIDTH. na
19. LOCATIONS WHICH REQUIRE ELECT. PANELS OR OTHER HEAVY FIXTURES, MTL STUDS WILL BE REINFORCED WITH WOOD FRAMING. na
20. MTL STUD TRACK INSTALLATIONS FOLLOW PROJECT DRAWINGS & APPROVED INDUSTRY STANDARDS IN ASTM C754-17 GUIDELINES.
21. INSULATION SHALL BE INSTALLED ACCORDING TO MFR'S SPEC'S AND ASTM GUIDELINES C-665., FINISHING OF WHICH SHALL MEET ASTM C 840, SEALANT APPLICATIONS ASTM C 919.
22. GYPSUM ASSOCIATION, (GA), GA-214 RECOMMENDED LEVELS OF GYPSUM BOARD FINISHES, GA-216 APPLICATIONS & FINISHES OF GYPSUM PANEL PRODUCTS, GA-253, APPLICATIONS OF GYPSUM SHEATHING.

### electrical

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE IBC 2015 NATIONAL & CT STATE 2018 ELECTRICAL CODES.
2. GENERAL CONTRACTOR (GC) SHALL COORDINATE HIS WORK WITH SUB-CONTRACTORS TO MAINTAIN PROGRESS AND AVOID WORK DISRUPTIONS OR CONFLICTS AMONG TRADES. THE GC IS RESPONSIBLE FOR MATLS, MEANS, METHODS & SCHEDULING ONLY. THE ARCHITECT IS RESPONSIBLE FOR THE DRAWINGS ONLY.
3. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID SUBMITTALS TO BECOME FAMILIAR WITH THE CONDITIONS AND DRWG DETAILS TO MAXIMIZE THE BEST OUTCOME UPON COMPLETION.
4. THE GENERAL CONTRACTOR SHALL COORDINATE ALL SITE SURVEYS WITH AND BY SUB-CONTRACTORS AND THEIR TRADE SCOPES OF WORK. WORKING DIMENSIONS AS FOUND ON SITE SHALL BE CONVEYED TO THE ARCHITECT FOR CORRECTIONS OR REVISIONS TO THE DRAWINGS THAT ARE PRINCIPALLY DIAGRAMS THAT REQUIRE VERIFICATIONS AND DETAIL COORDINATIONS. ANY DISCREPANCIES FOUND AND NOT REPORTED TO THE ARCHITECT WHICH INCUR ADD'L COSTS SHALL BE CONTRACTOR'S RESPONSIBILITY.
5. CONTRACTOR SHALL DO HIS OWN CUTTING AND PATCHING UNLESS OTHERWISE NOTIFIED.
6. ALL EQUIPMENT SHALL BE NEW AND SHALL AND SHALL BEAR THE UL LABEL AND BEAR APPROVED BSA & MEA PRODUCT APPROVALS.
7. THE CONTRACTOR SHALL PROVIDE GENERAL LIABILITY INSURANCE CERTIFICATES TO THE OWNER.
8. CONTRACTOR SHALL PERFORM ALL REQUIRED, TESTS & INSPECTIONS NECESSARY TO OBTAIN CERTIFICATES OF APPROVAL FROM DEPT OF GENERAL SERVICES, BUREAU OF ELECTRICAL CONTROL AND PRESENT CERTIFICATES TO THE OWNER.
9. WIRING TO BE RUN IN APPROVED WIREWAYS, (BX OR GALV. EMT), CONDUITS OVER 2 1/2" DIA., WILL BE OF INTERMEDIATE WEIGHT GALV.
10. AT COMPLETION OF WIRING, CONTRACTOR SHALL PHASE BALANCE ENTIRE SYSTEM. ALL WIRING SHALL BE COPPER TYPE THW OR THWN, COLOR CODED WITH GREEN GROUND WIRE.
11. ALL NON-CURRENT CARRYING METALPARTS OF FIXED EQUIP. SUCH AS RACEWAYS AND CONDUITS SHALL BE GROUNDED TO THE INCOMING SIDE OF THE WATER SERVICE TO THE BLDG. GROUND ALL WIRING SYSTEMS AND CIRCUITS. GROUNDING CONDUCTOR SHALL BE SIZED AS PER NYC & NATIONAL ELECTRICAL CODES.
12. ALL WORK INCLUDING CONDUITS AND WIRING SHALL MEET UTILITY'S REQUIREMENTS. CONTRACTOR WILL ARRANGE AND PAY THE REQUIRED CHARGES FOR CON ED SERVICES.
13. THE CIRCUITS AND PANEL SCHEDULES SHOWN ARE TO BE USED AS GUIDES. THE ACTUAL INSTALLATION OF THE CIRCUITS SHALL BE MADE BY CONNECTION TO ALTERNATE PHASES USING A COMMON NEUTRAL IN PANELS. THE APPROPRIATE CIRCUIT NUMBERS AND DESIGNATIONS SHALL BE INDICATED ON A TYPED DIRECTORY PLACED INSIDE THE PANEL DOOR. CIRCUIT BREAKERS SHALL BE FULL SIZE.
14. CONTRACTOR SHALL PROVIDE NECESSARY POWER WIRING TO ALL MECH. & ELECT. EQUIPMENT INCLUDING FINAL INSTALLATION EQUIP.
15. CONNECTIONS TO ROTATING EQUIPMENT, (FANS, PUMPS, ACS), SHALL BE MADE W/ APPROVED SEAL-TIGHT FLEXIBLE CONDUIT 18" MAX. LENGTH.
16. CONTRACTOR SHALL PROVIDE NECESSARY JUNCTION, PULL & OUTLET BOXES, REQ'D DISCONNECT SWITCHES, (FUSED & NON-FUSED), CONTR' SHALL MOUNT THOSE MOTOR STARTERS NOT INTEGRAL WITH EQUIP. PROVIDED BY OTHER TRADES, AS INDICATED ON THE DRAWINGS.
17. LIGHTING FIXTURES ARE TO BE COMPLETE WITH LAMPS, LENS & HDWE, APPROVED BY UTILITY COMPANY.
18. LIGHTING FIXTURES STORED ON SITE ARE TO BE PROTECTED FROM DAMAGES. CONTRACTOR IS RESPONSIBLE FOR COSTS IF INCURRED, AND FOR SAFE INSTALLATIONS.

## general construction

19. TOGGLE WALL SWITCHES SHALL BE RATED AND SHALL BE MOUNTED AT 48" A.F.F.
20. RECEPTACLES WILL BE MOUNTED AT 36" A.F.F., UNLESS OTHERWISE NOTED. FACE PLATES ARE SELECTED BY ARCH.
21. CONTRACTOR SHALL WIRE ALL MOTOR CONTROLLERS AS REQ'D. PROVIDE REMOTE PUSH BUTTON STATIONS TO START /STOP HOOD EXHAUST FANS & PILOT LIGHTS. CONFIGURE HOOD EXH. FANS WITH THEIR RESPECTIVE GAS SOLENOID VALVES TO PREVENT COOKING WITHOUT FAN OPERATION.
22. PROVIDE AND CONNECT SMOKE DETECTORS TO STOP THEIR RESPECTIVE AC UNITS. SMOKE DETECTORS TO BE OF THE IONIZATION OR PHOTO-ELECTRIC TYPE, UL APPROVED.
23. THERE SHALL BE NO CHANGE TO EXISTING ELECTRICAL SERVICE SUPPLY IN THIS SCOPE OF WORK'S APPLICATION, WITHOUT WRITTEN AUTHORIZATION FROM BLDG MGMT. na



consultants:

## Feasibility Review

140 Tolland Stage Rd.  
Tolland, CT

project

Tri-Town Gymnasium

peaslee architect pc

648 rte 198 woodstock valley, ct 06282  
718 383 8909 917 945 2465 c  
design@stuartpeaslee.com

A - 001



preliminary  
23\_0522

preliminary  
23\_0524

These drawings are instruments of service only for use in this project. Dimensions and existing conditions must be field verified by contractor with understanding that any discrepancies will be submitted as written notices to the architect.

consultants:

Feasibility Review

140 Tolland Stage Rd.  
Tolland, CT

project

Tri-Town Gymnasium



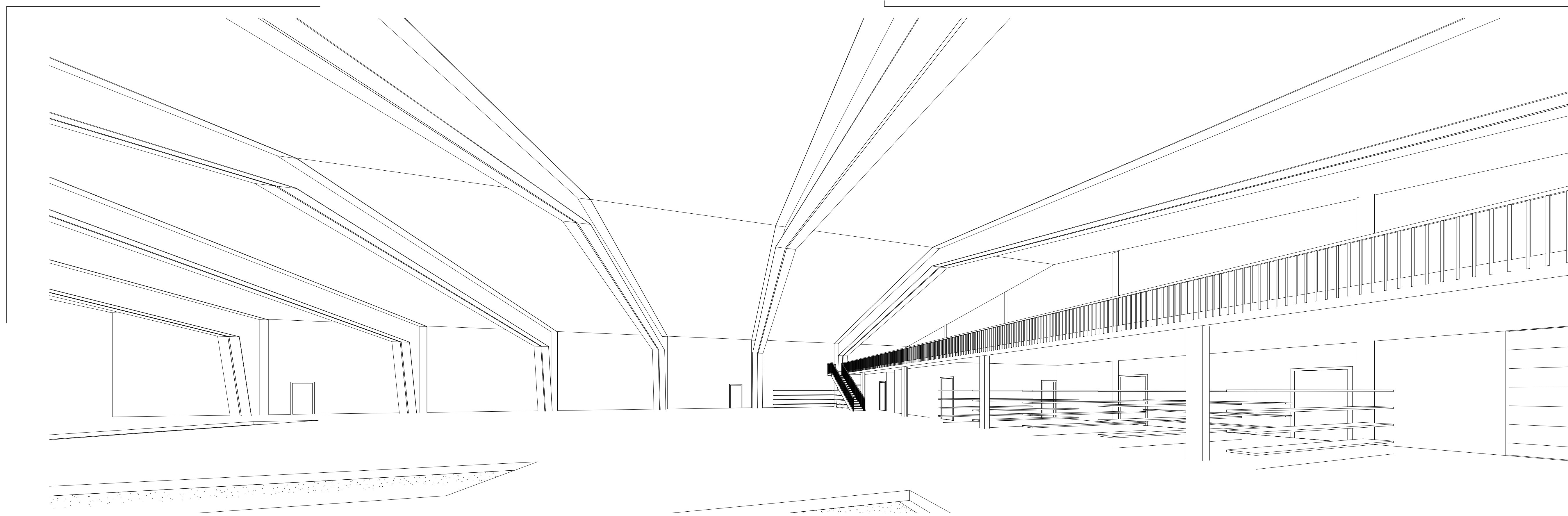
648 rte 198  
woodstock valley, ct  
06282

718 383 8909

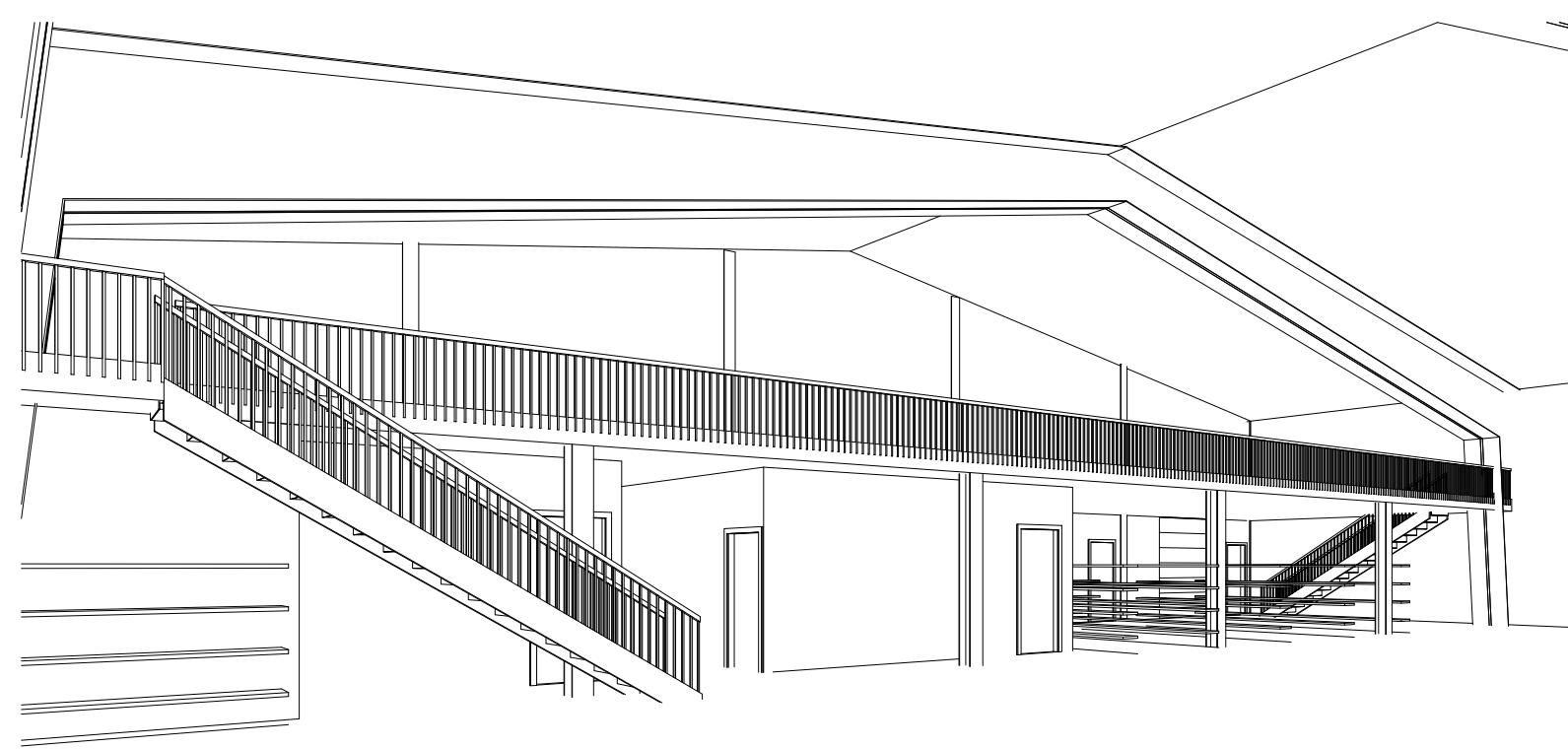
917 945 3465 c

design@stuartpeaslee.com

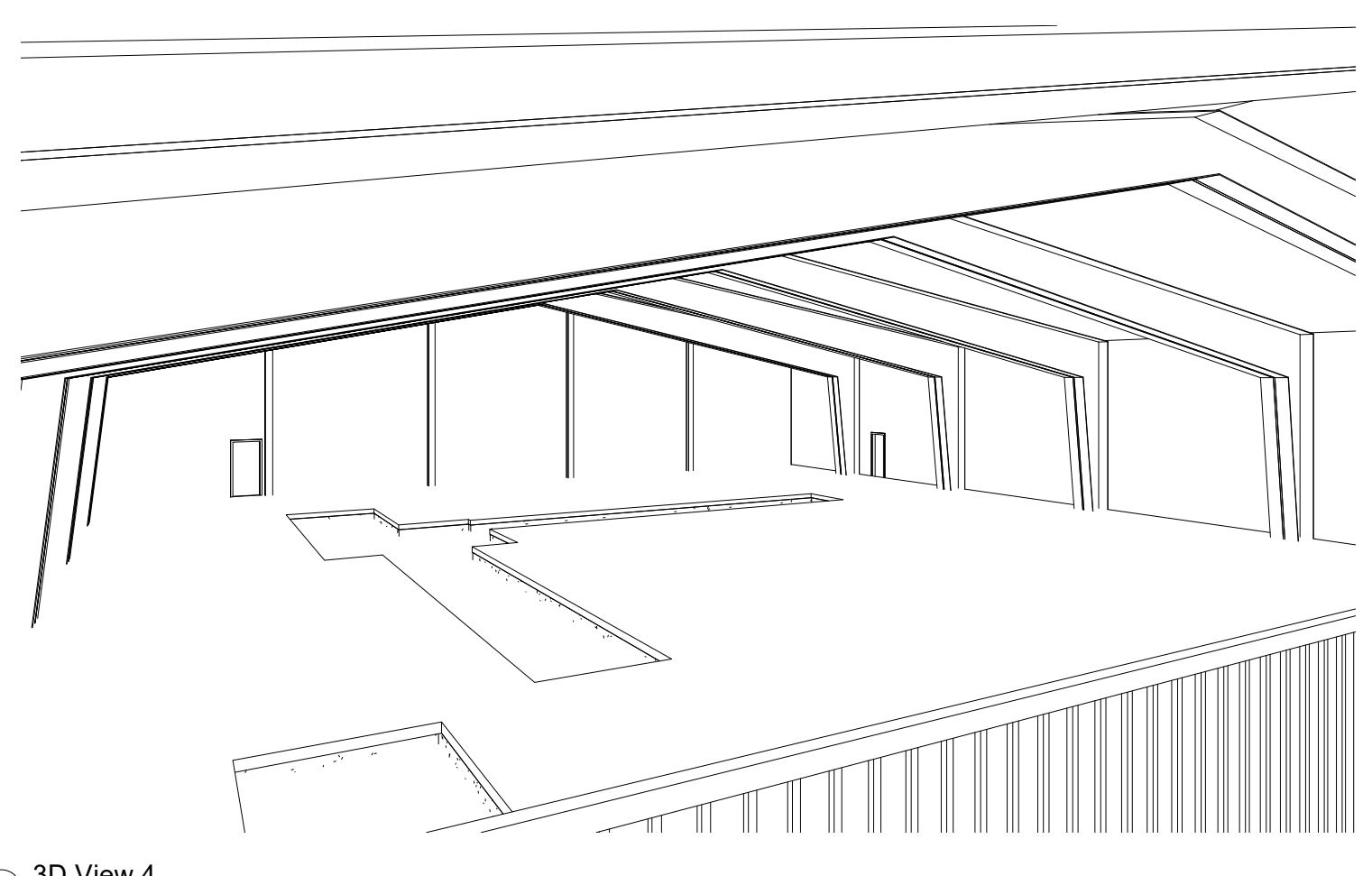
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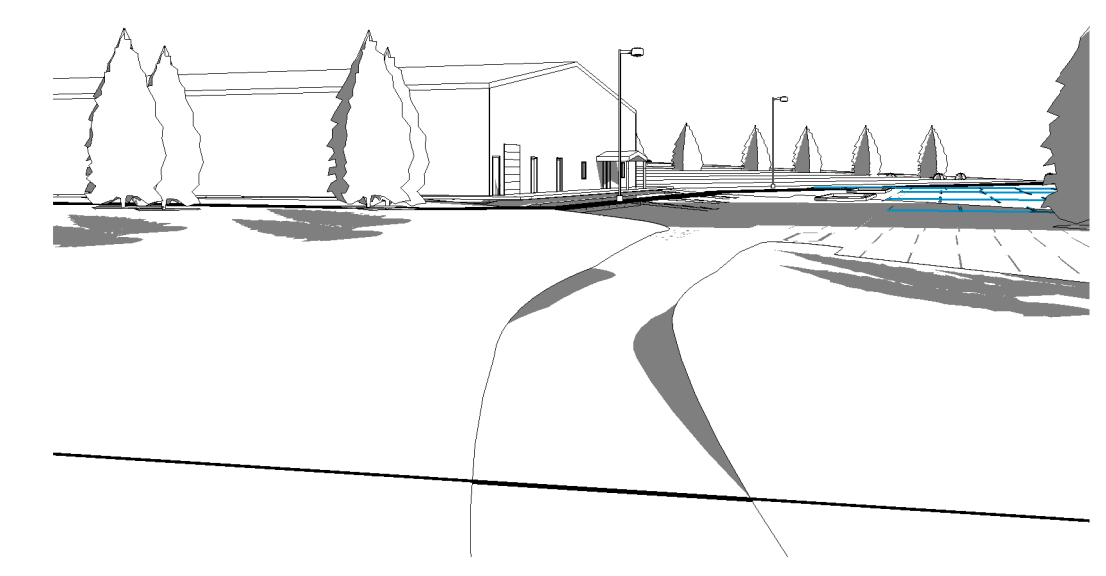
2 3D View 5



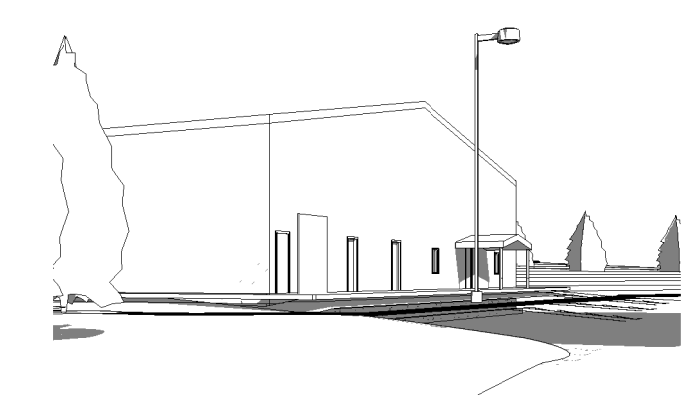
5 3D View 2



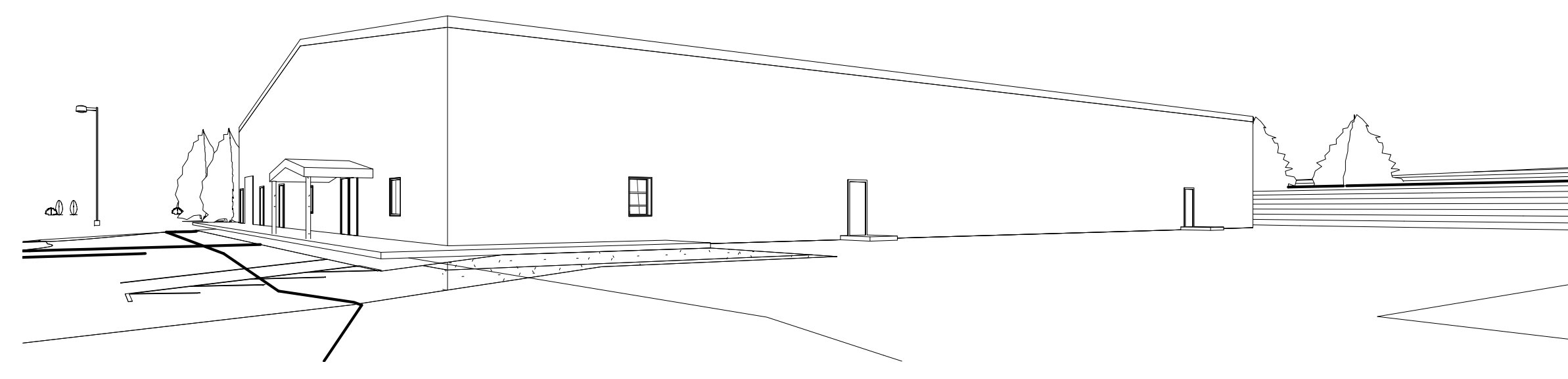
3 3D View 4



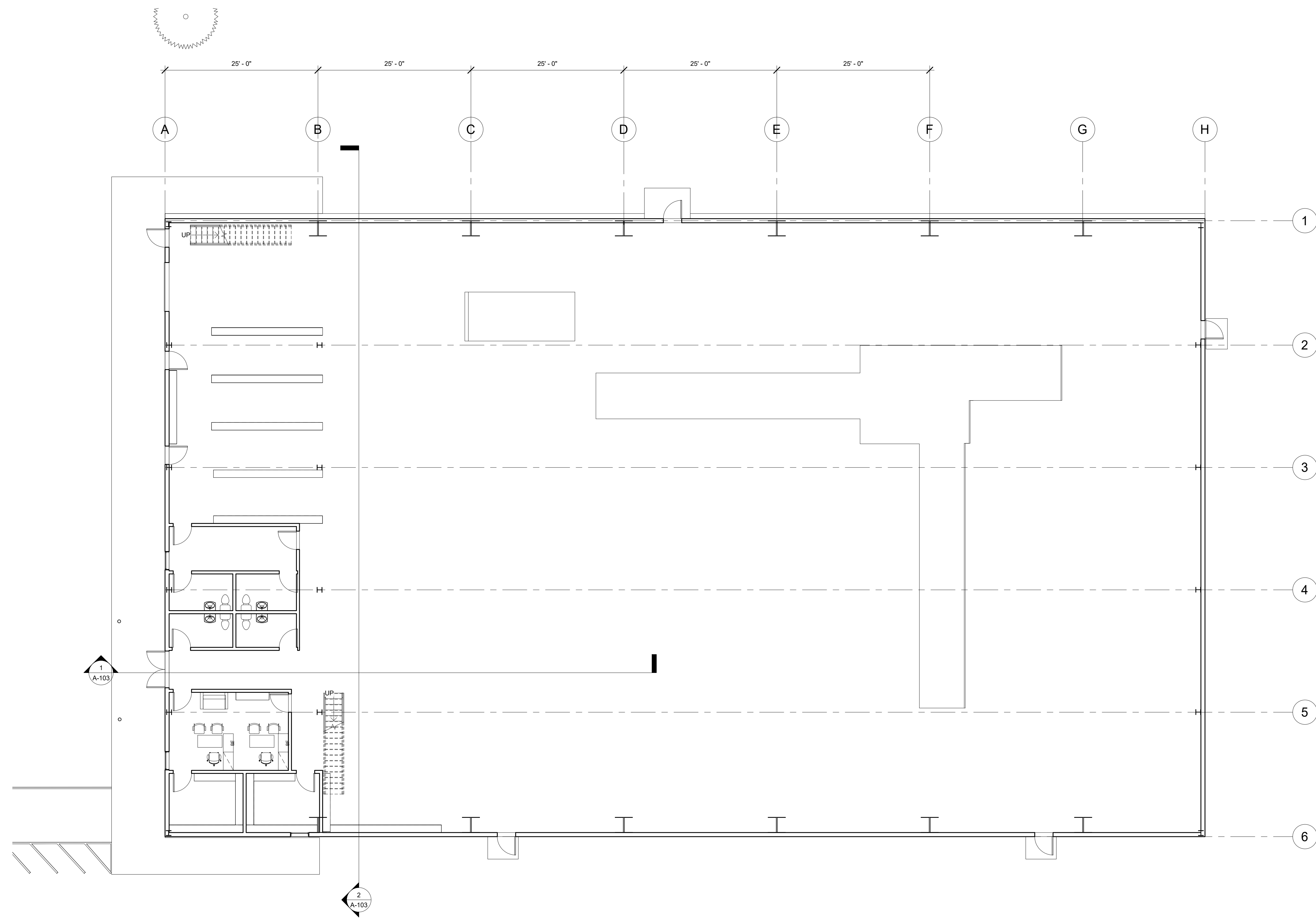
1 3D View 6



4 3D View 3



6 3D View 1



1 Level 1  
1/8" = 1'-0"

no.	description	date
preliminary		
23_0522		
preliminary		
23_0524		

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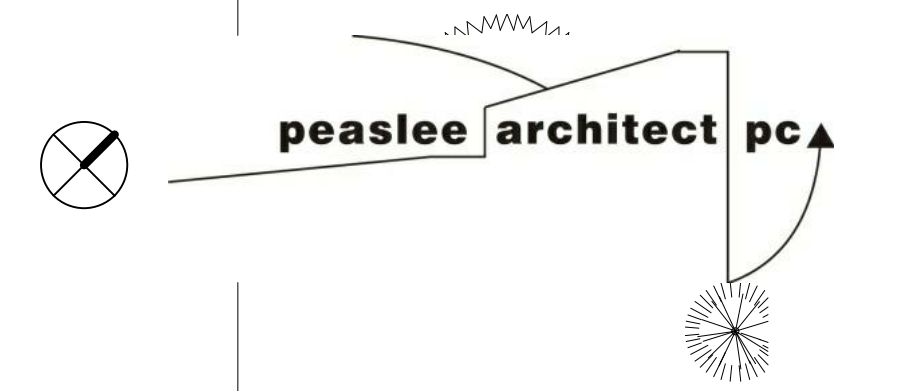
consultants:

Feasibility Review

140 Tolland Stage Rd.  
Tolland, CT

project

Tri-Town Gymnasium



648 rte 198  
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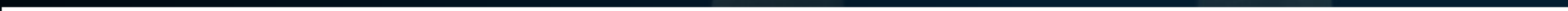
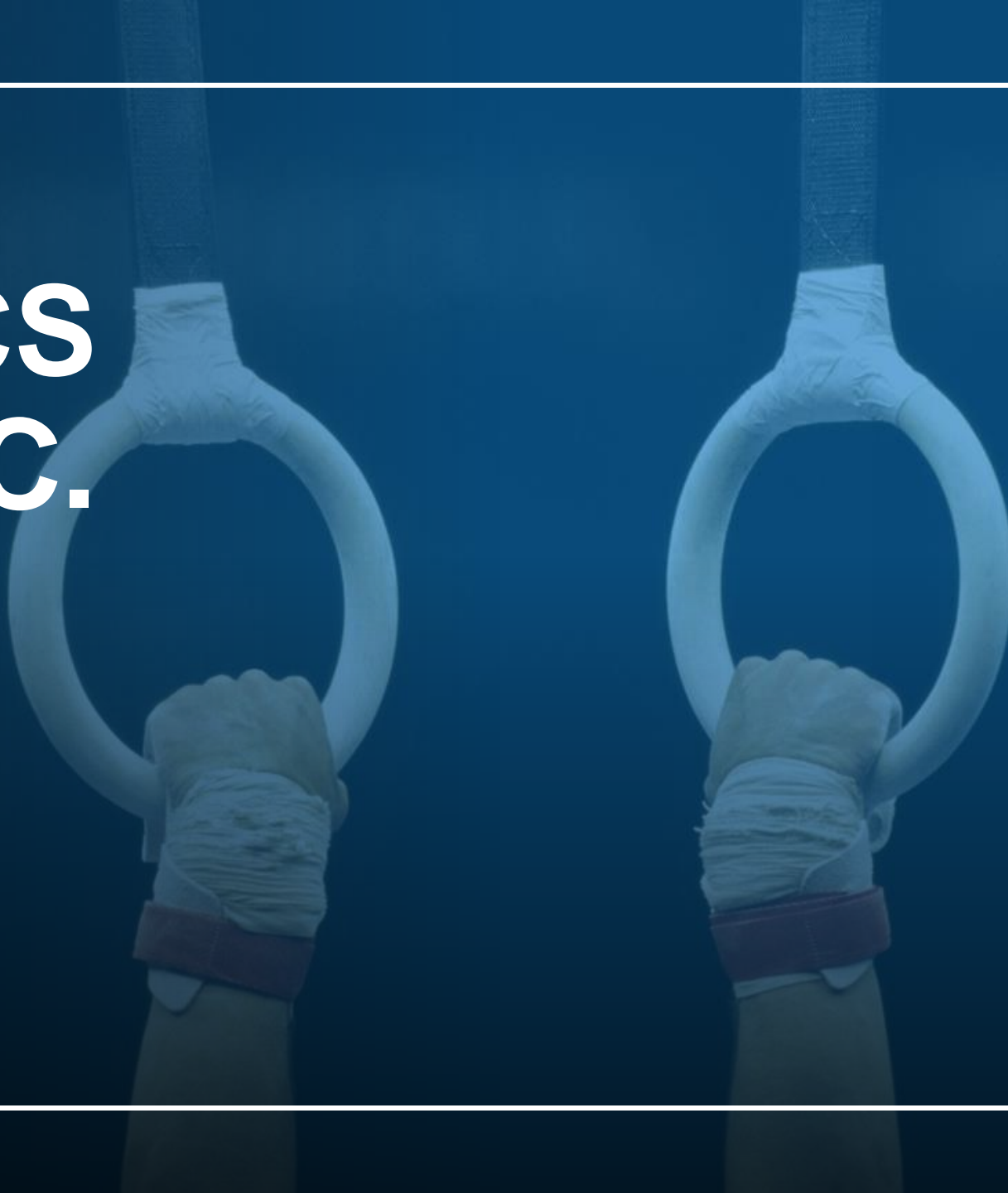
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# TRI-TOWN GYMNASTICS CENTRE, INC.



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**TRI-TOWN**



**GYMNASTICS CENTER**

**Tolland, CT**

**860-871-1964**

[tritowngym.com](http://tritowngym.com)

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# TRI-TOWN GYMNASTICS CENTRE

211 Hartford Turnpike Tolland, CT 06084 860 871-1964

info@tritowngym.com [www.tritowngym.com](http://www.tritowngym.com)

2022/2023

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It is the start of our 41st year at TRI-TOWN GYMNASTICS. We want to thank all of you who have grown with our programs during these wonderful years. We have enjoyed watching your children develop their gymnastics skills, especially the multi-year children we have worked with. For those who are new, thank you for your interest in considering Tri-Town Gymnastics. We hope you will find it a fun, friendly, family gym. Our professional, trained and certified staff continues to use the evaluation-of-skill charts throughout the year. Mastering these skills is the culmination of a full year's work. To facilitate both the learning and teaching process we have developed our "end-of-the-year" fun routines based on these skills. We have found them very enjoyable and the students enjoy performing for all their relatives and friends. Our Mission Statement: Growth through participation has been Tri-Town's mission throughout these many years. Enjoyment, physical fitness and coordination are some of the benefits involved in taking part in our regular gymnastics programs. Many of our parents have expressed how these benefits have enhanced their children's development of long-term confidence and self-image, helping with many of their everyday challenges and accomplishments, including other sports outside of gymnastics. This makes us very proud here at Tri-Town Gymnastics. For the competitive athlete, we have boys and girls team programs. This involves a full year of practice with gymnastics meets. Please ask Debi or Frank for information regarding our team programs, about the commitments and the benefits this may have for your child.

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Dennis Adams – Owner since 1981  
Tri-Town Gymnastics journey began in  
Rockville, CT, moved the location to  
Ellington, CT and then moved to Tolland, CT  
in 1996. Dennis is Nationally Certified Coach  
and Judge.

17,000 sq. ft. Steel  
structure with metal roof –  
15,000 sq. ft. open space

# of parking spaces – 65

Hours of Operation –  
Monday – Friday  
3 hrs. on Saturday  
morning  
Closed Sunday

April Adams-Mejia – CFO

AnnMarie Corona – Office Manager

Debi Bugbee – Business Gymnastics  
Director/Head Coach for Girl's Team

Frank Valentin – Head Coach for Boy's Team

Christine Henderson – Pre-School Director

Pre-school Gymnastics –  
weekday mornings

Annual Summer  
Programs – Six Week  
Program

Programs and Classes  
offered from  
toddler to teens  
(on next slide)

Enrollment – 500 Families  
from local 17 area towns  
– Tolland, Ellington,,  
Vernon, South Windsor,  
Coventry, Ashford, etc.

Our gymnasts have  
placed  
in National meets with  
1<sup>st</sup>, 2<sup>nd</sup> and 3<sup>rd</sup> place  
standings.

All coaches are  
background checked and  
certified through USAG &  
AAU Registered Club

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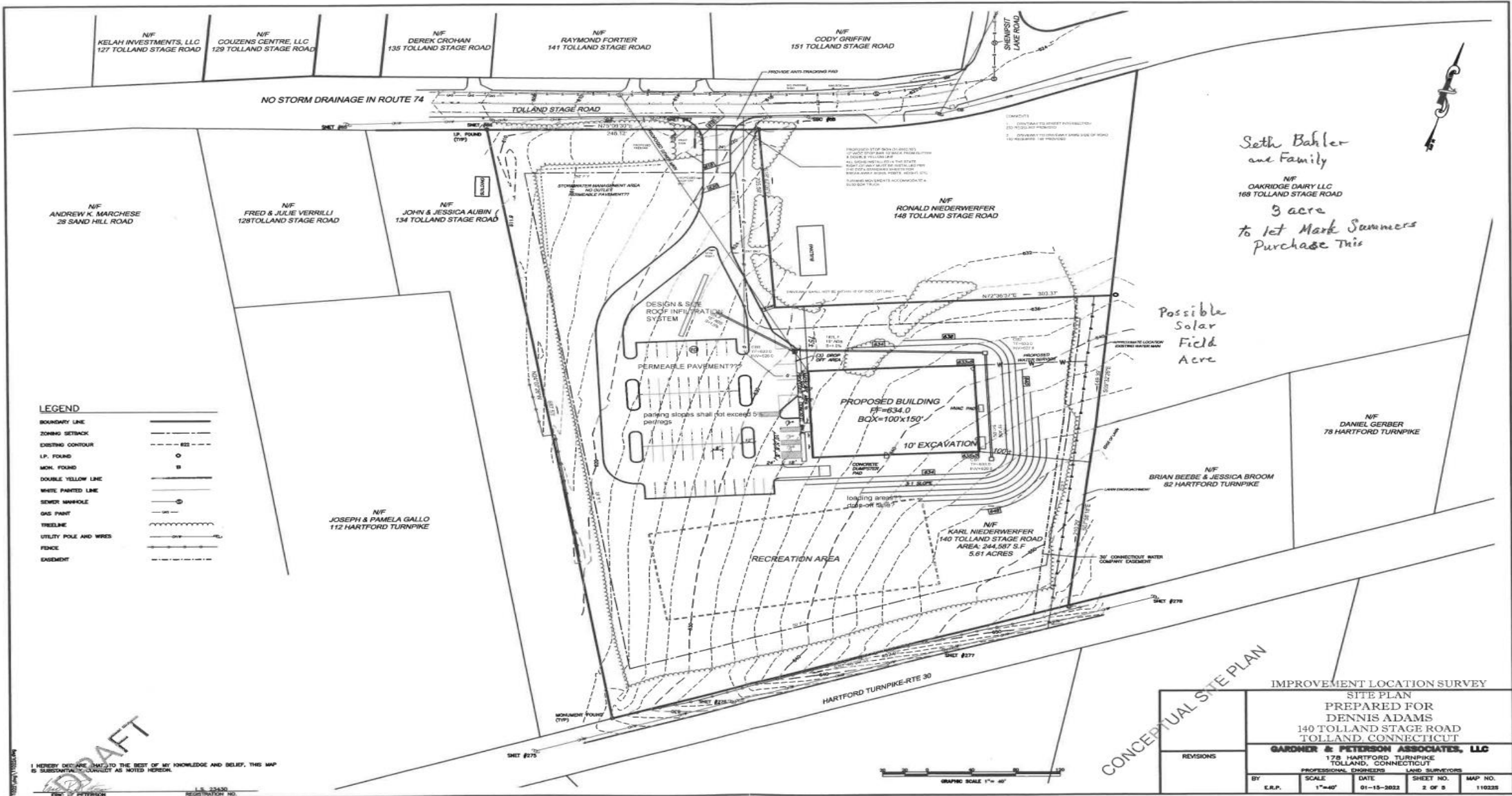
Details	Hours/Wk	Class Description	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
<b>Preschool</b>								
2 yrs. & 3 yrs.	45 min.	Parent / Child						9:00 - 9:45
2 yrs. & 3 yrs.	45 min.	Parent / Child						10:00 - 10:45
3 yrs. & 4 yrs.	45 min.	Instructor			9:30 - 10:15	9:30 - 10:15		9:00 - 9:45
3 yrs. & 4 yrs.	45 min.	Instructor						10:00 - 10:45
20 mos. – 3 yrs.	45 min.	Parent / Child			10:20 - 11:05	9:30 - 10:15		
20 mos. – 3 yrs.	45 min.	Parent / Child				10:20 - 11:05		11:00 - 11:45
3 yrs. - 5 yrs.	45 min.	Instructor						11:00 - 11:45
4 yrs. - 5 yrs.	45 min.	Instructor				1:00 - 1:45		
<b>Hourly</b>								
<i>Both</i> 3 - 18 yrs.	1	Homeschool			10:20-11:20	10:20-11:20		
<i>Both</i> 4½ - 7 yrs.	1	Beginner I						12:00 - 1:00
<i>Both</i> 9 - 18 yrs.	1	Cheer/Tumbling	3:45 – 4:45					
<b>Boys</b> 4 ½ - 6 yrs.	1	Boys Beginner I	5:30 – 6:30			5:30 – 6:30		
<b>Boys</b> 7 -13 yrs.	1	Boys Beg. I & II		5:30 – 6:30				
<b>Boys</b> 8 -13 yrs.	1	Boys Beg. II			5:30 – 6:30			
Girls 7 – 10 yrs	1	Beg.II		4:00 – 5:00	4:00 – 5:00			
Girls 7 – 10 yrs	1	Intermediate	4:00 – 5:00					
Girls 4 - 5 yrs.	1	Beginner I		4:15 – 5:15	4:15 – 5:15	5:30 – 6:30		
Girls 6 - 7 yrs.	1	Beg. I & II	5:00 – 6:00	5:15 – 6:15		4:00 – 5:00	4:30 – 5:30	
Girls 7 - 13 yrs	1	Beg.II			5:00 – 6:00	5:00 – 6:00	5:00 – 6:00	
Girls 4 ½ - 6 yrs.	1	Beginner I			5:30 – 6:30	4:15 – 5:15		
Girls 8 - 13 yrs.	1	Beg. I & II						1:00 - 2:00



140 Tolland Stage Rd







**LEGEND**

BOUNDARY LINE	---
ZONING SETBACK	---
EXISTING CONTOUR	---
I.P. FOUND	○
MOK. FOUND	□
DOUBLE YELLOW LINE	---
WHITE PAINTED LINE	---
SEWER MANHOLE	⊙
GAS PANT	---
TREELINE	---
UTILITY POLE AND WIRES	---
FENCE	---
EASEMENT	---

Seth Bahler  
and Family  
N/F  
OAKRIDGE DAIRY LLC  
168 TOLLAND STAGE ROAD  
3 acre  
to let Mark Summers  
Purchase this

Possible  
Solar  
Field  
Acre

N/F  
BRIAN BEEBE & JESSICA BROOM  
82 HARTFORD TURNPIKE

N/F  
DANIEL GERBER  
78 HARTFORD TURNPIKE

CONCEPTUAL SITE PLAN

IMPROVEMENT LOCATION SURVEY			
SITE PLAN			
PREPARED FOR DENNIS ADAMS			
140 TOLLAND STAGE ROAD			
TOLLAND, CONNECTICUT			
GARDNER & PETERSON ASSOCIATES, LLC			
178 HARTFORD TURNPIKE			
TOLLAND, CONNECTICUT			
PROFESSIONAL ENGINEERS		LAND SURVEYORS	
REVISIONS	BY	DATE	SHEET NO. / MAP NO.
	E.A.P.	01-15-2023	2 OF 5 / 110235



I HEREBY DECLARE, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIAL CONNECT AS NOTED HEREON.

ERIC P. PETERSON  
I.S. 53430  
REGISTRATION NO.

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*Tri-  
Town*

**GYMNASTICS**

*Center  
Inc.*

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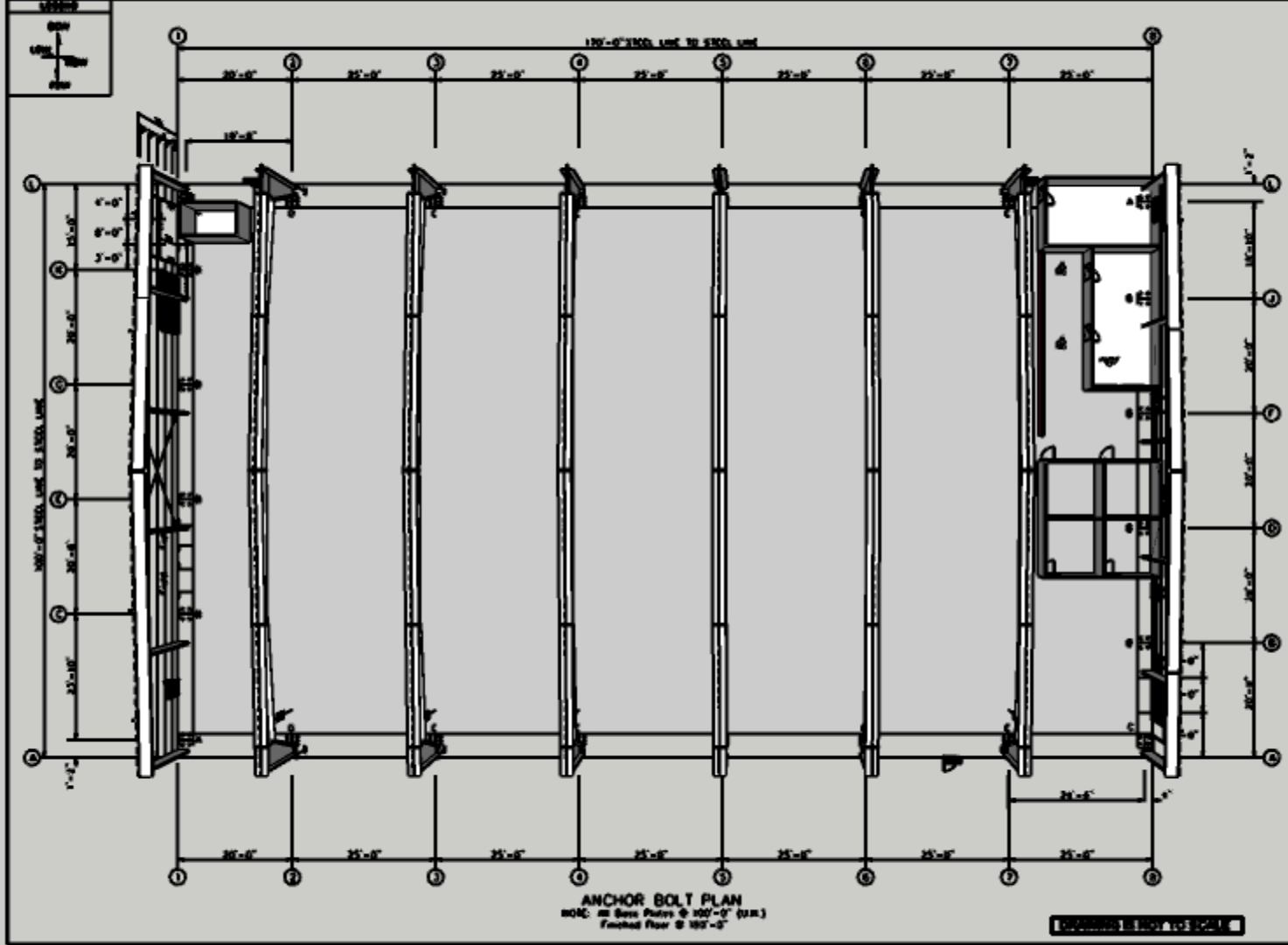






The TOWN GYMNASTICS Center Inc.



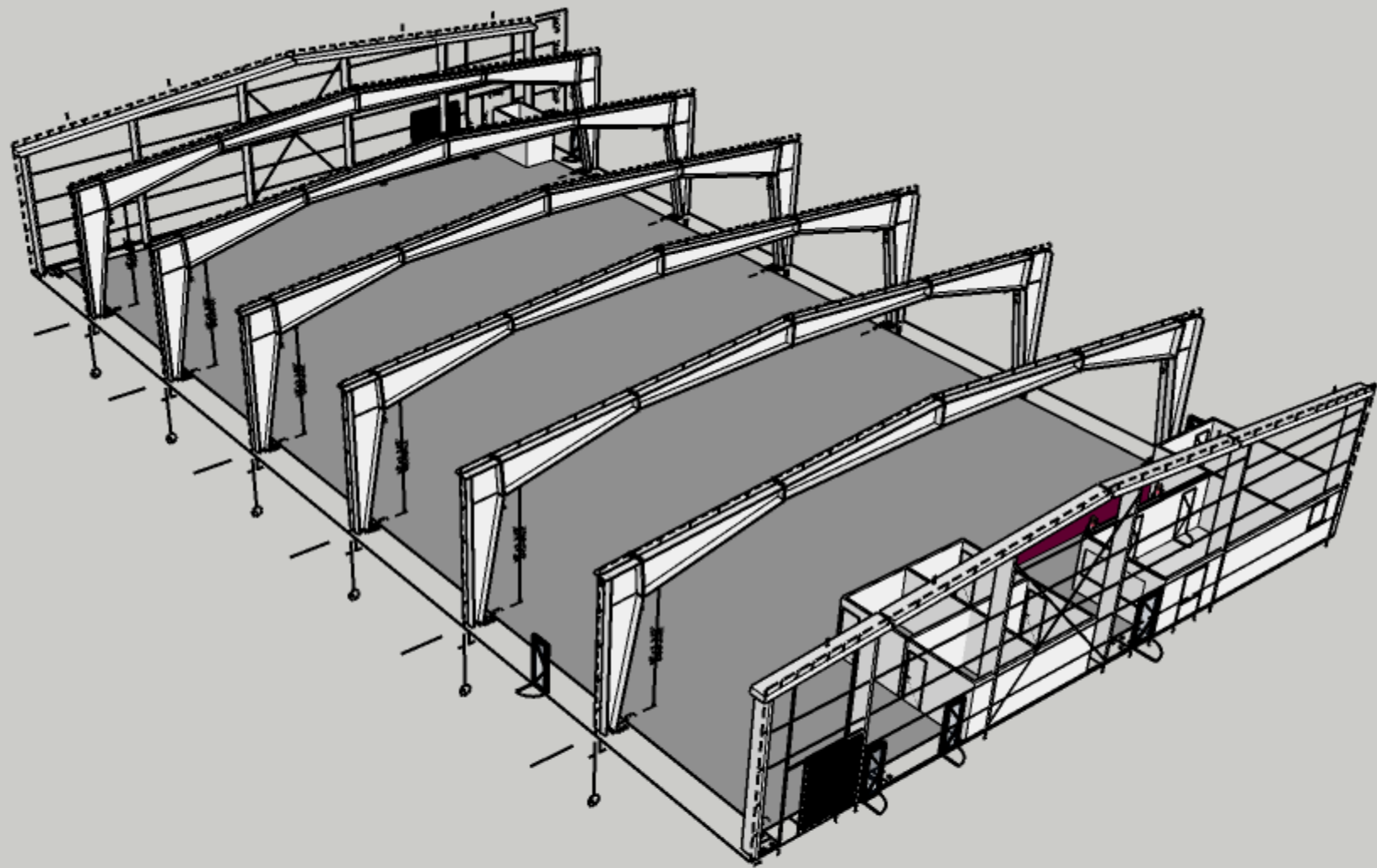


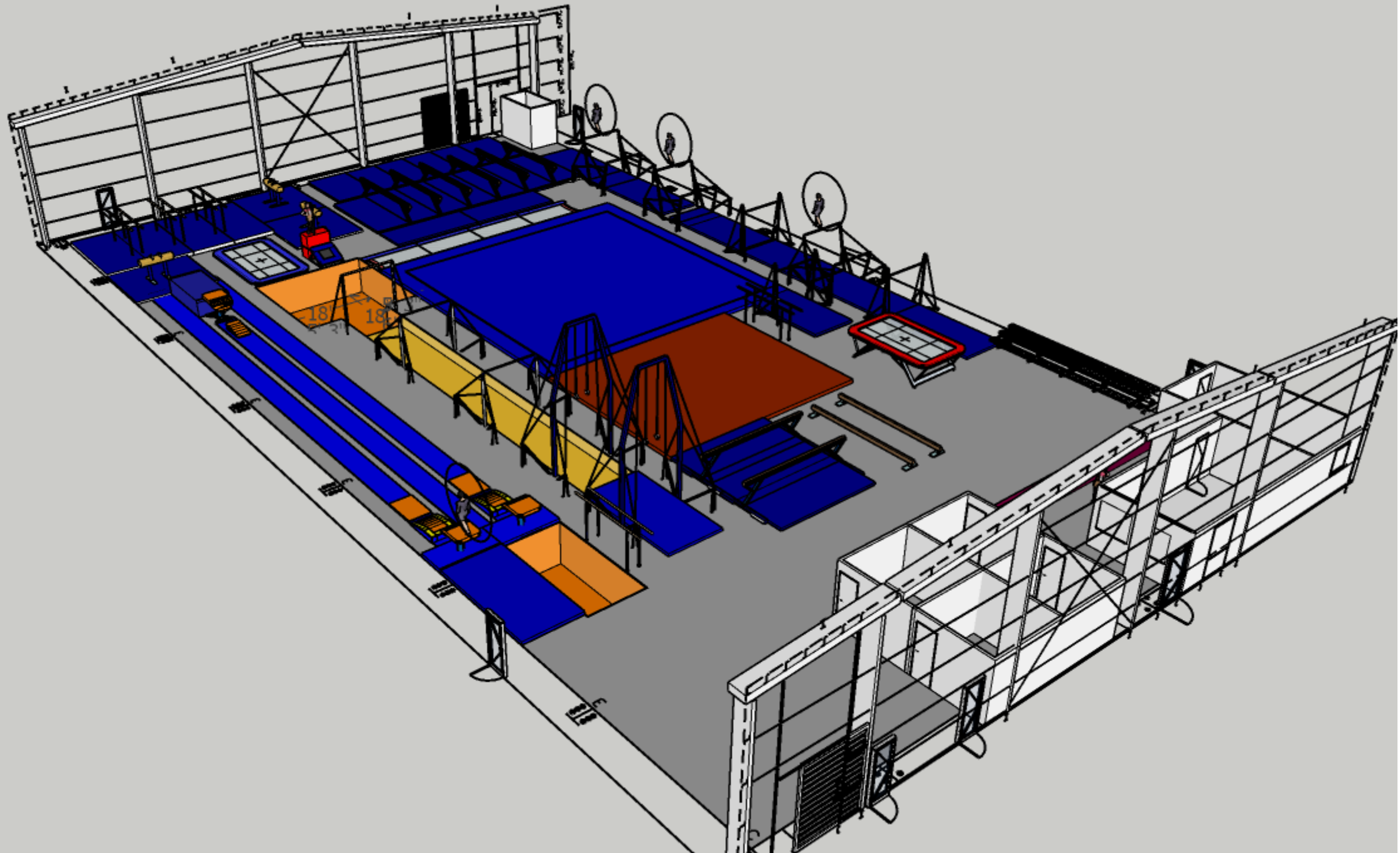
ANCHOR BOLT PLAN  
 NOTE: All Bolt Puts @ 100'-0" (12x1)  
 Tieded Floor @ 100'-0"

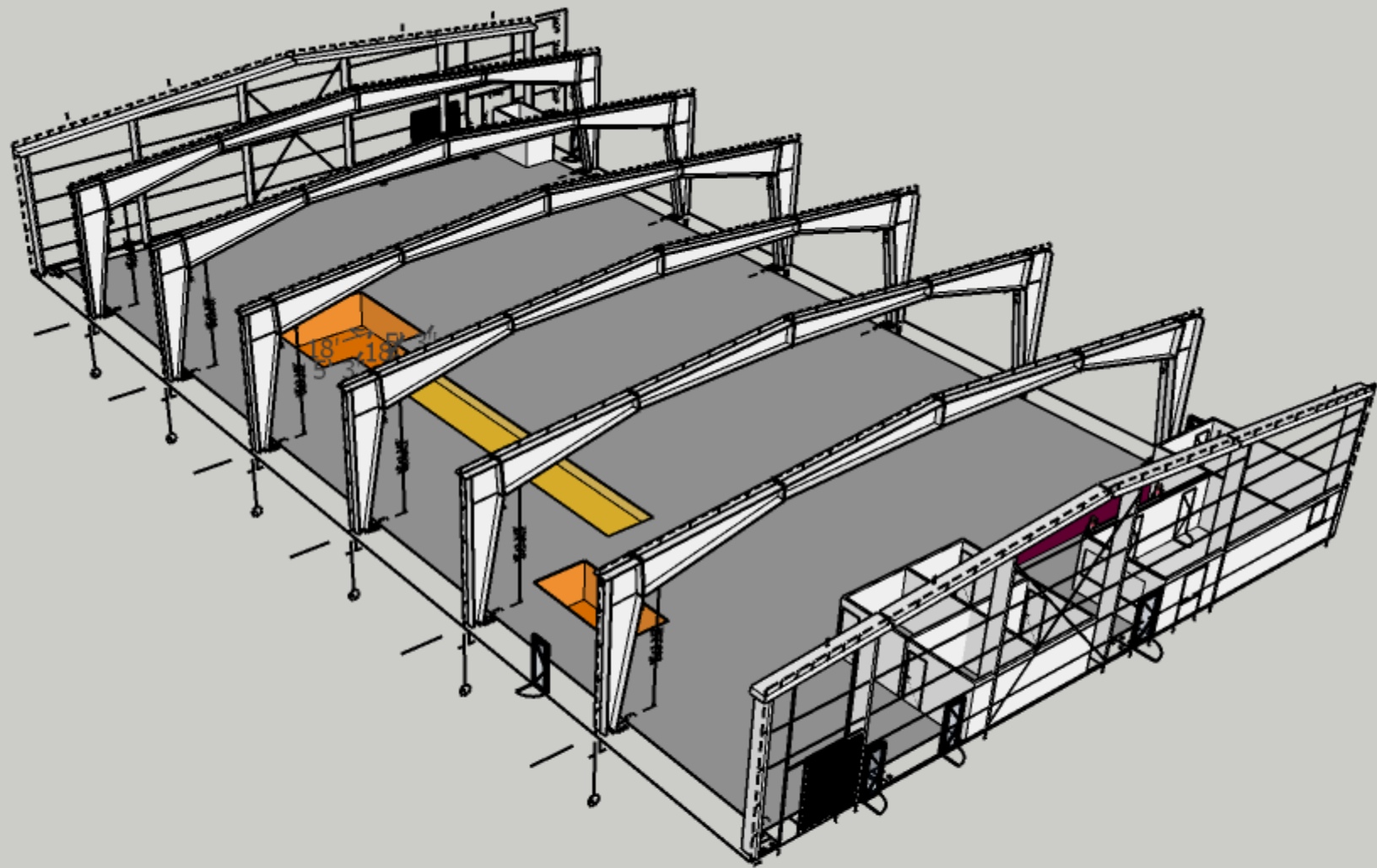
DENNIS ADAMS ENGINEERING

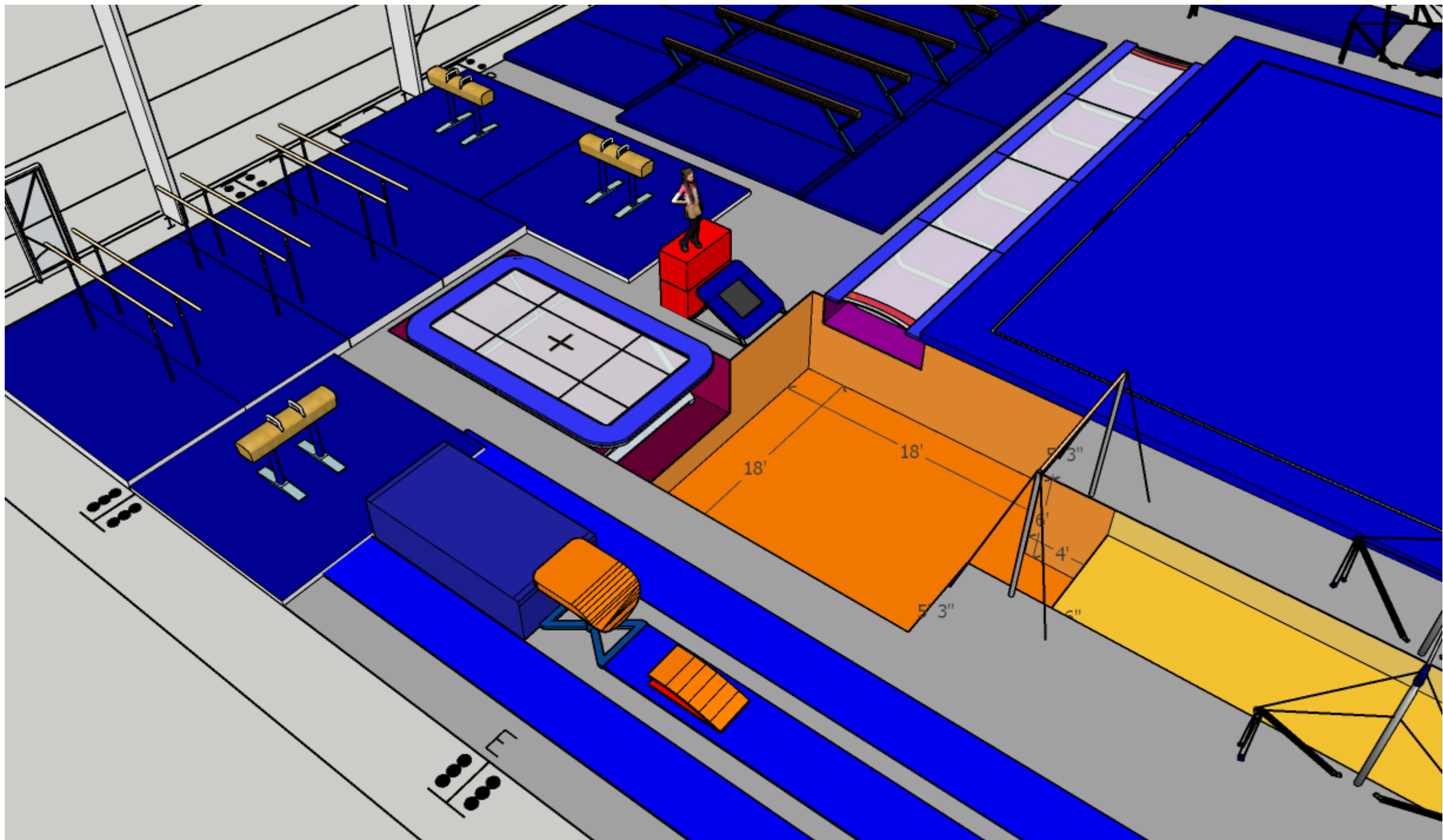
<b>F.O. 2892</b>	
<b>M25418 DENNIS ADAMS</b>	
ENGINEERING	
100'-0" X 1500. LINE TO 1500. LINE	
DATE: 11/10/22 REVISION: 0	
ENGR: WAM CIVIL E.C. APPRO: WAM	
11/10/22	
PAGE 2 OF 16	

M25418 DENNIS ADAMS  
 100'-0" X 1500. LINE TO 1500. LINE  
 DATE: 11/10/22 REVISION: 0  
 ENGR: WAM CIVIL E.C. APPRO: WAM

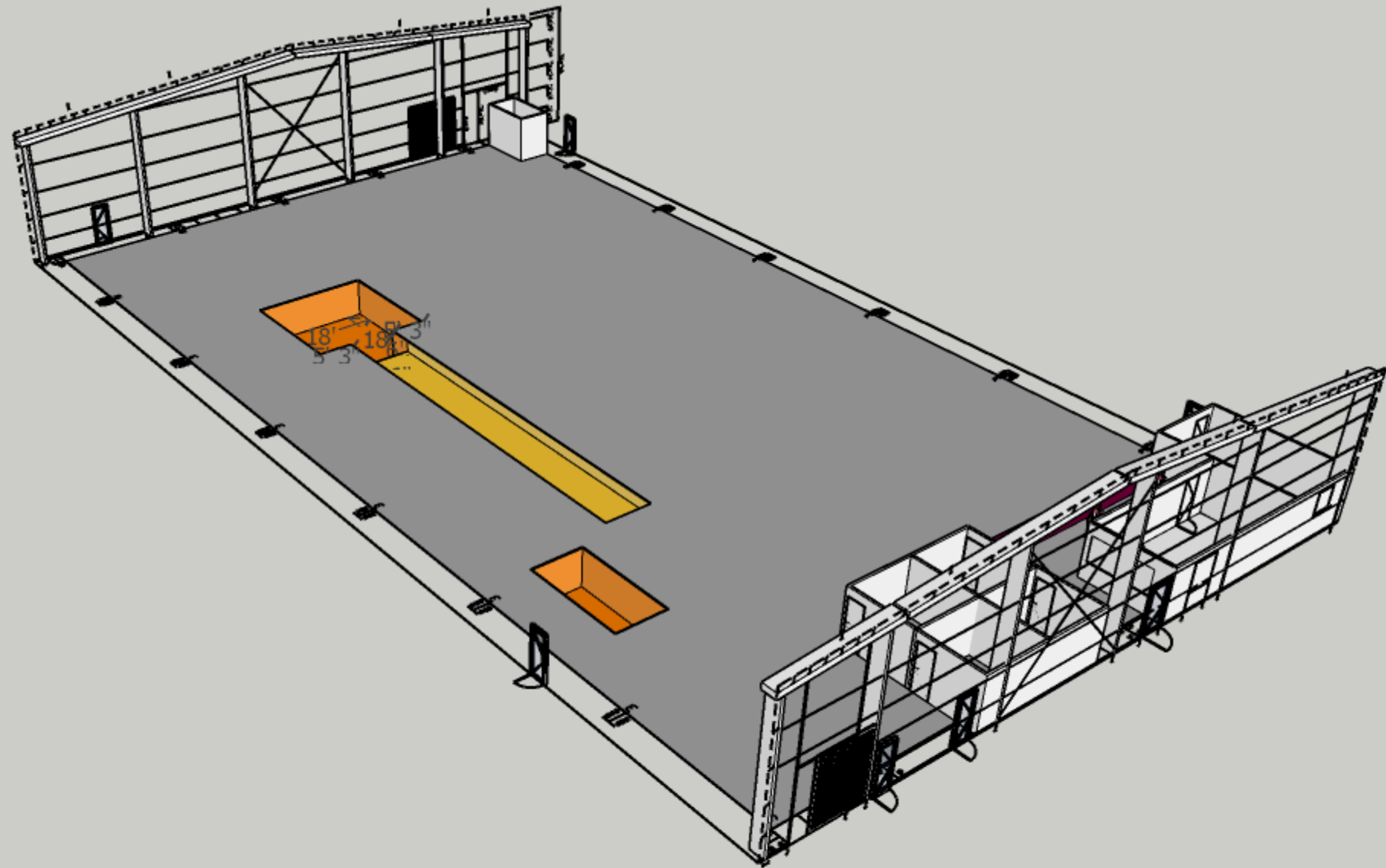


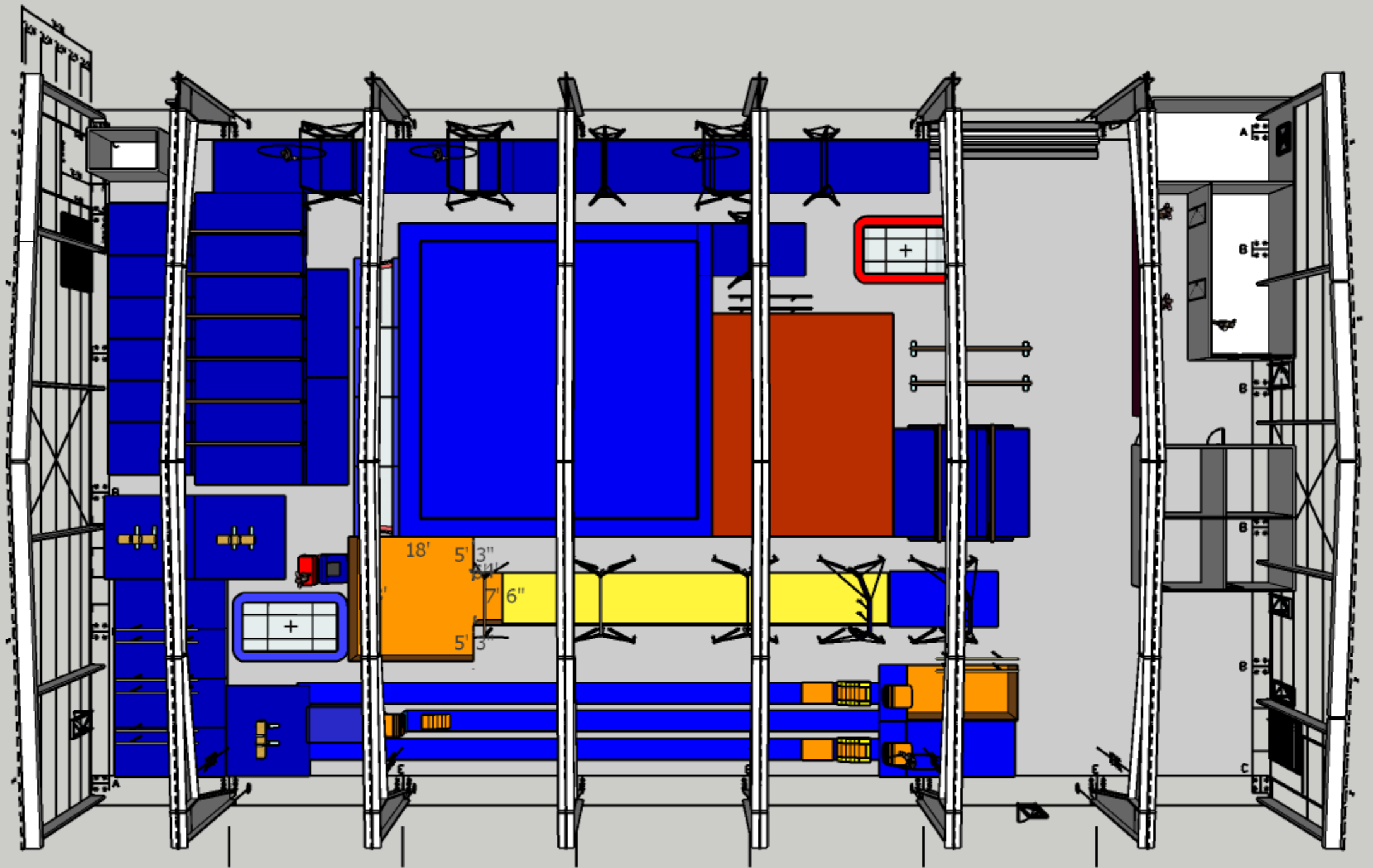


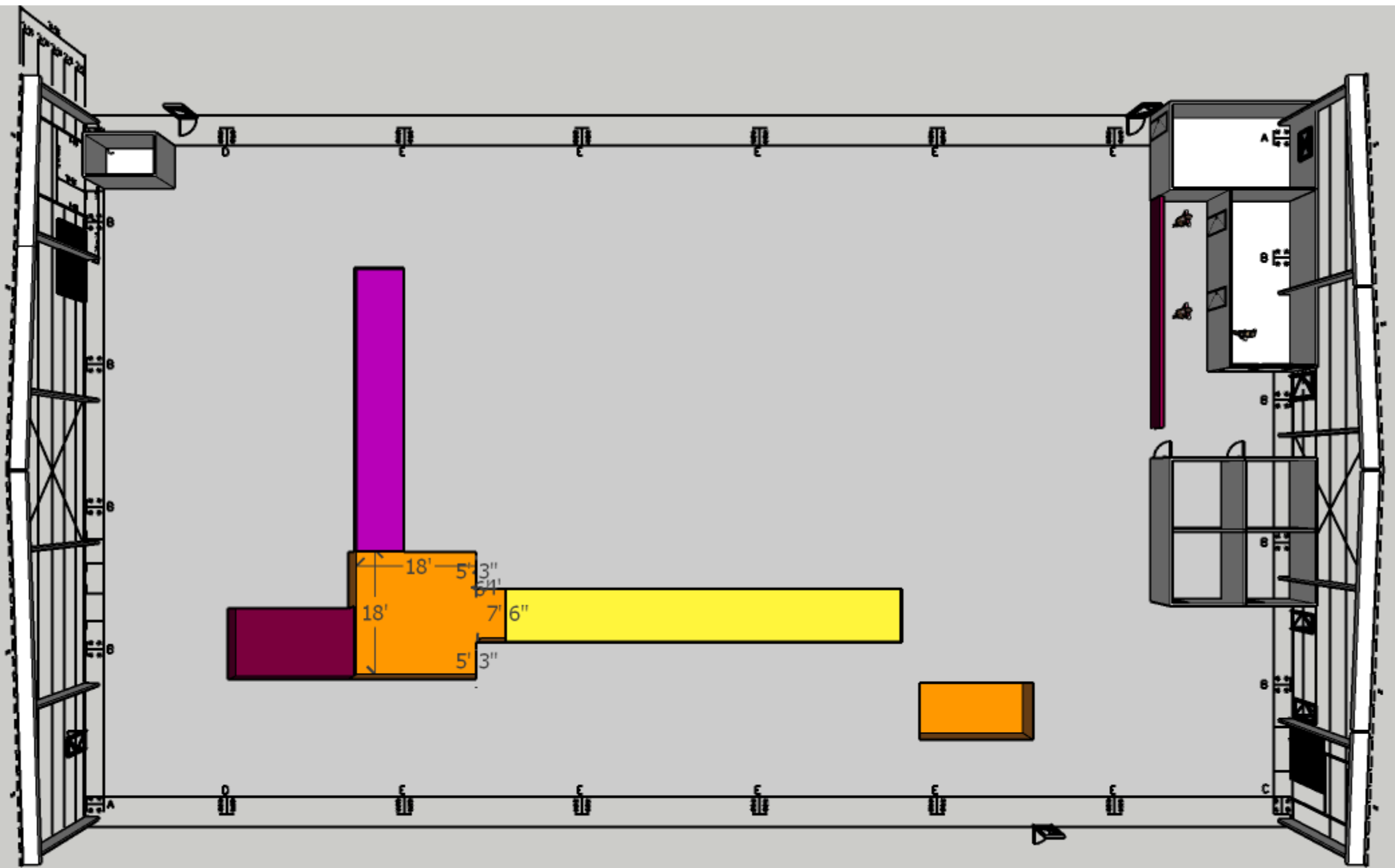


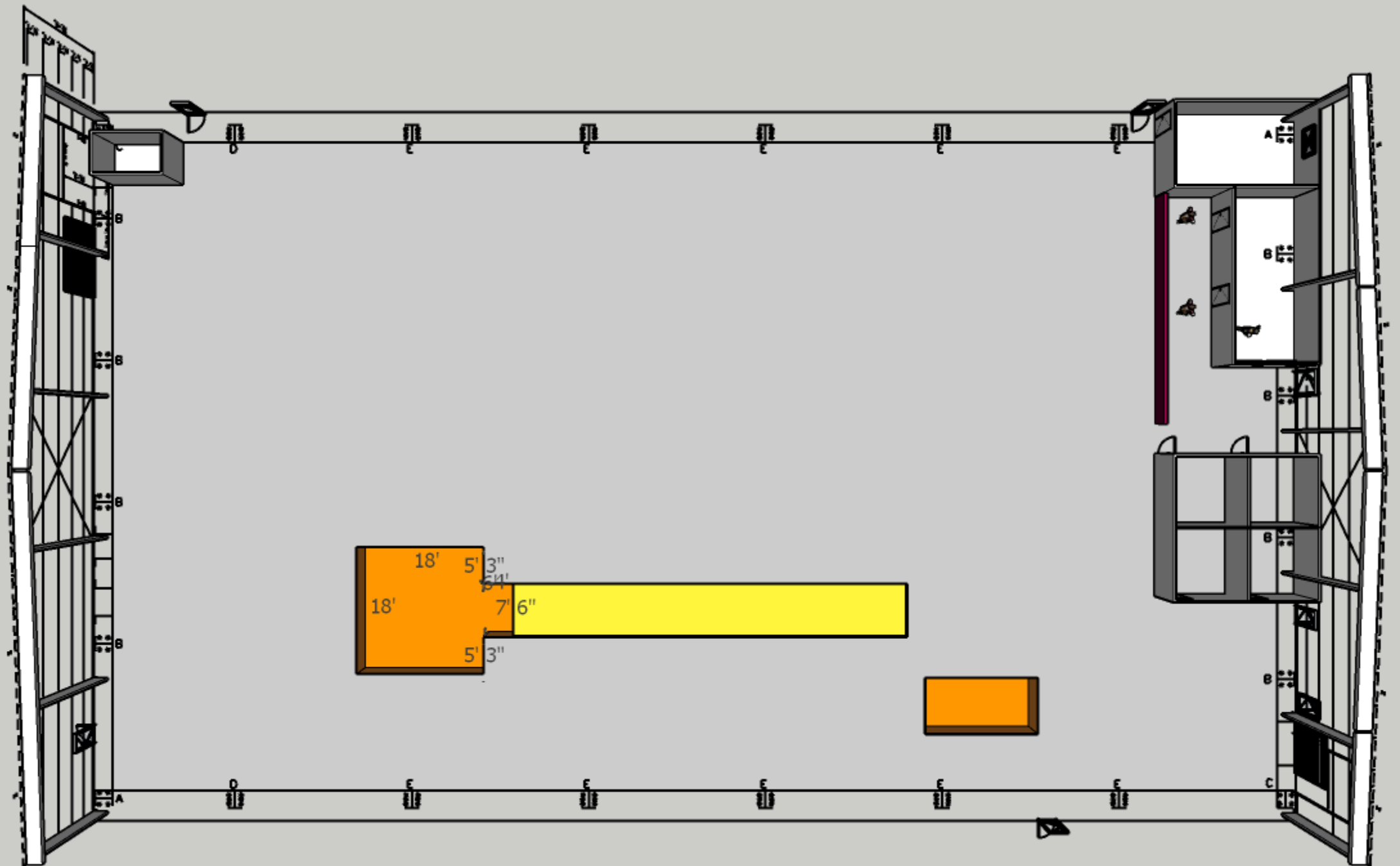


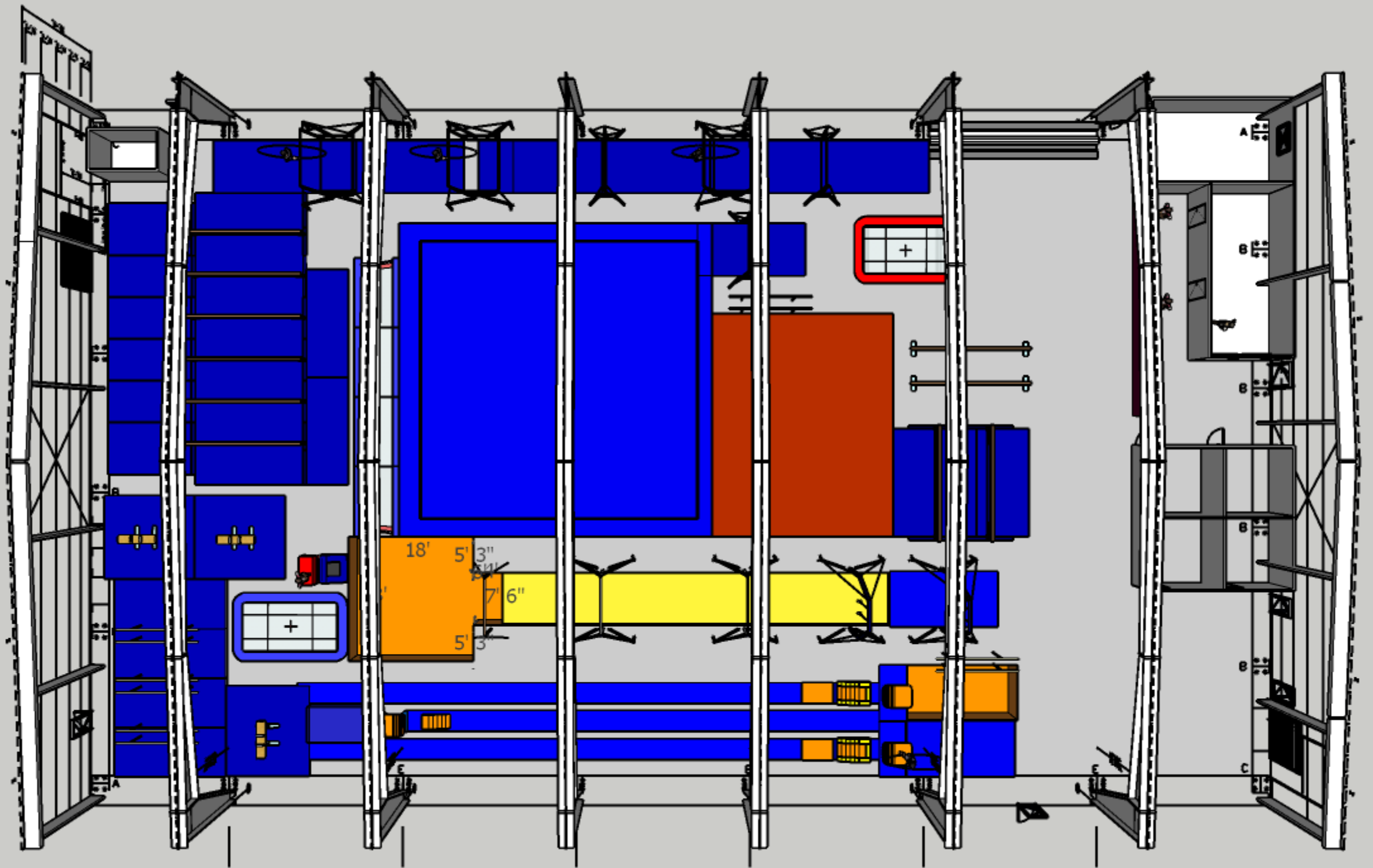




















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# Summer at Tri Town

**Mini Session- Ages 4-6**  
**Monday & Thursday 9:30-11:30**  
**June 27 - August 11**  
**Gymnastics, w/ snack & activity**



**Games ● Crafts ● Gymnastics ● Friends ● Lots more!**

## **Summer Session - Ages 7+**

**Monday - Friday**

**June 27-August 12**

**9-12:00pm or 9-3:30pm**

**Summer Theme Weeks**

*Gymnastics & Cheer Tumbling  
Boys & Girls Classes  
Ages 5+  
Monday - Thursday  
3:30-5:30PM*

*PreSchool & Parent Child  
Classes  
Wednesday Mornings*



**Nature  
Week**

**Water  
Week**

**Sports &  
Games  
Week**

**Exploring  
Week**

**Let's Get  
Wild Week**

**Dancing  
Thru the  
Decades  
Week**

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## project information

This 17,000 sf bldg is proposed to provide physical education and gymnastics training for 4-14 year old students. The driveway entrance at 140 Tolland Stage Rd. will enable sightlines. (Typical access to the public will be provided for less than 50 occupants).

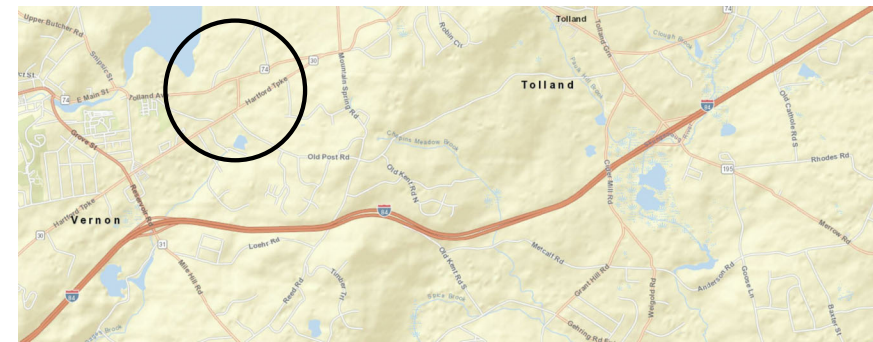
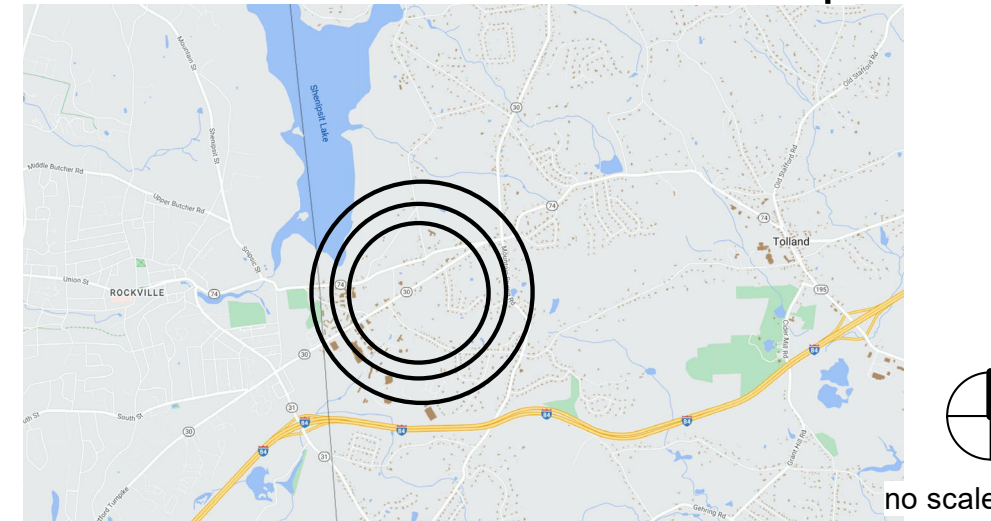
Note:  
Interior Construction will provide additional foundation sub-structure to enable the functional activities. Levels will be defined in Sections and Section Details.

District: Landmark: not applicable

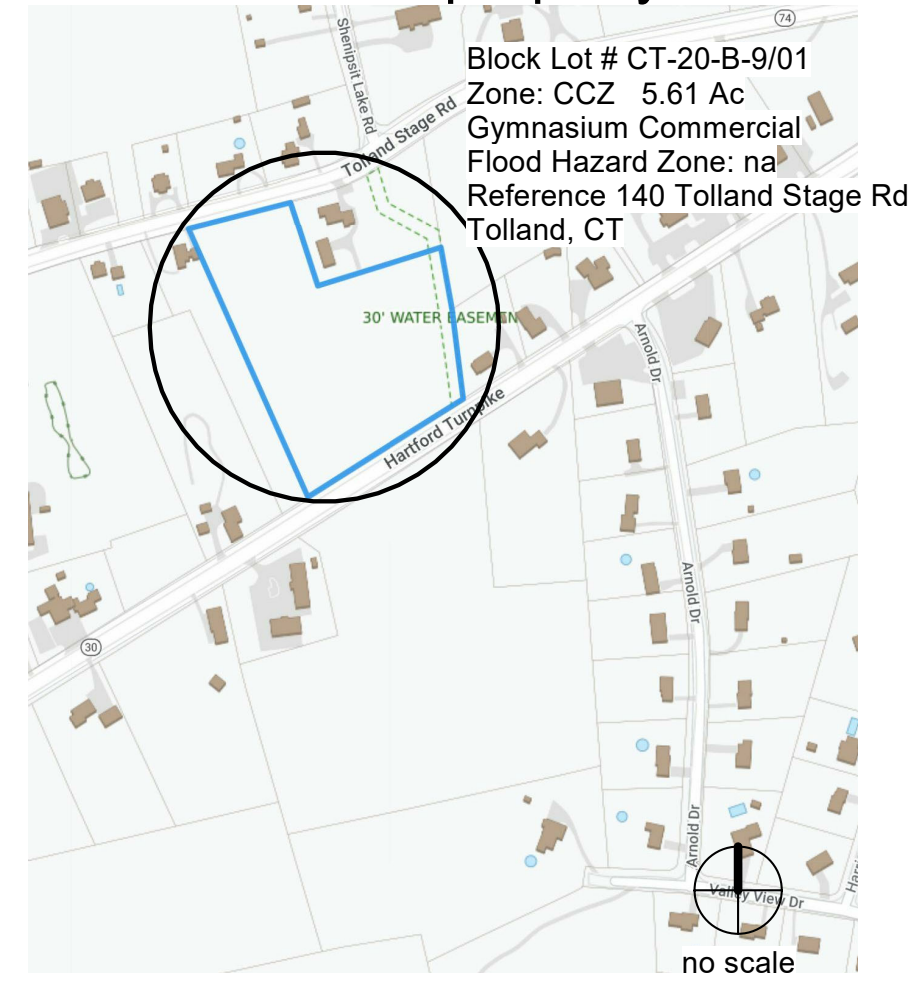
Scope of Work: Pre-Engineered Modular Building - New Construction includes site work, sub-structure, superstructure, utilities, supply & waste lines, paving & parking.

Proposed Work:  
Occupancy Class: A3 - Gymnasium  
Construction Class: Type IIIB  
IBC 2021 & CT Amendments 2022  
This layout is for feasibility studies only.  
All measurements to be verified in field.

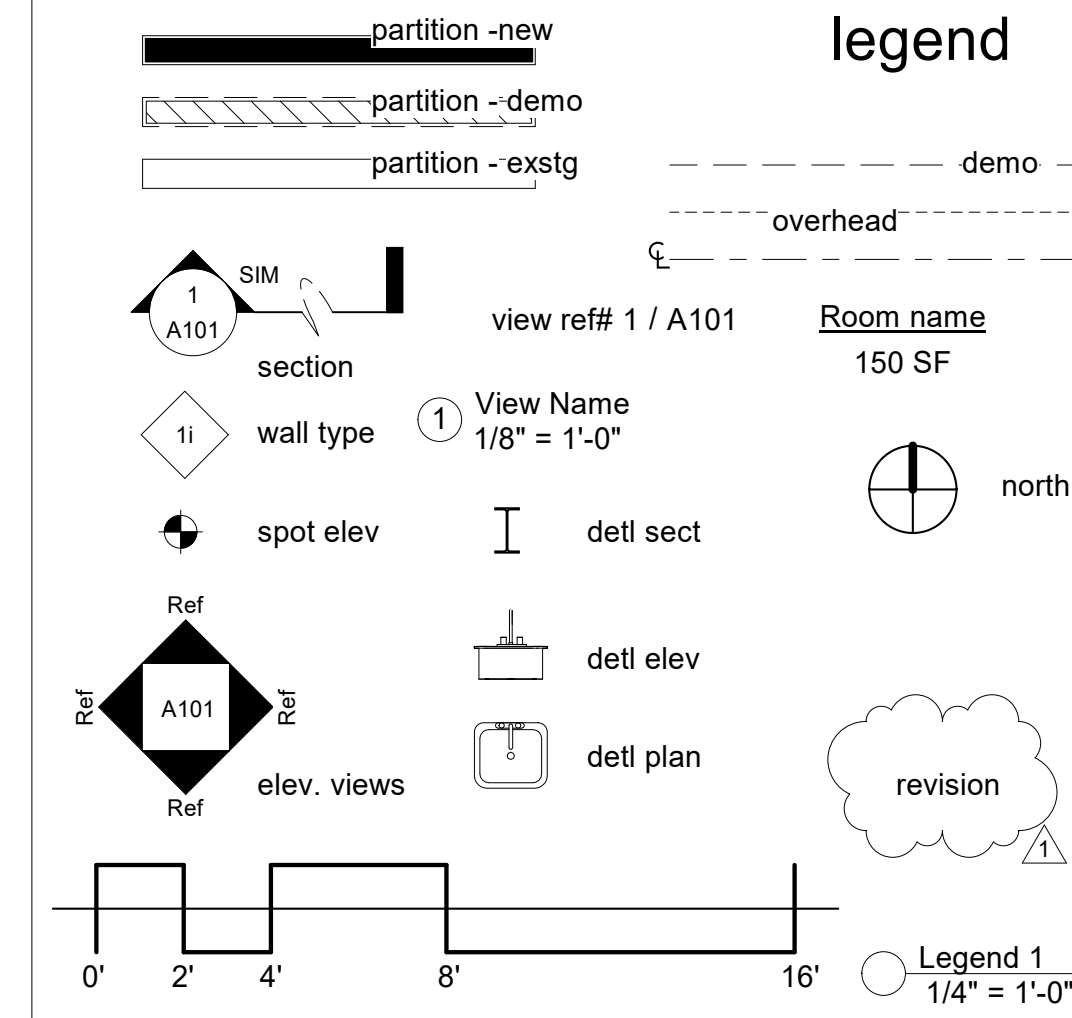
## locus map



## property information



## legend



## preview studies drawings list

- A - 001 - Cover Page
- A - 100 - 3D Views
- A - 101 - Floor Plans
- A - 103 - Sections
- A - 104 - Elevations

no. description date

preliminary  
23\_0522

preliminary  
23\_0524

These drawings are instruments of service only for use in this project as preliminary studies only. Dimensions and existing conditions must be field verified with any discrepancies to be submitted as written notices to the architect.

## project notes

### general construction

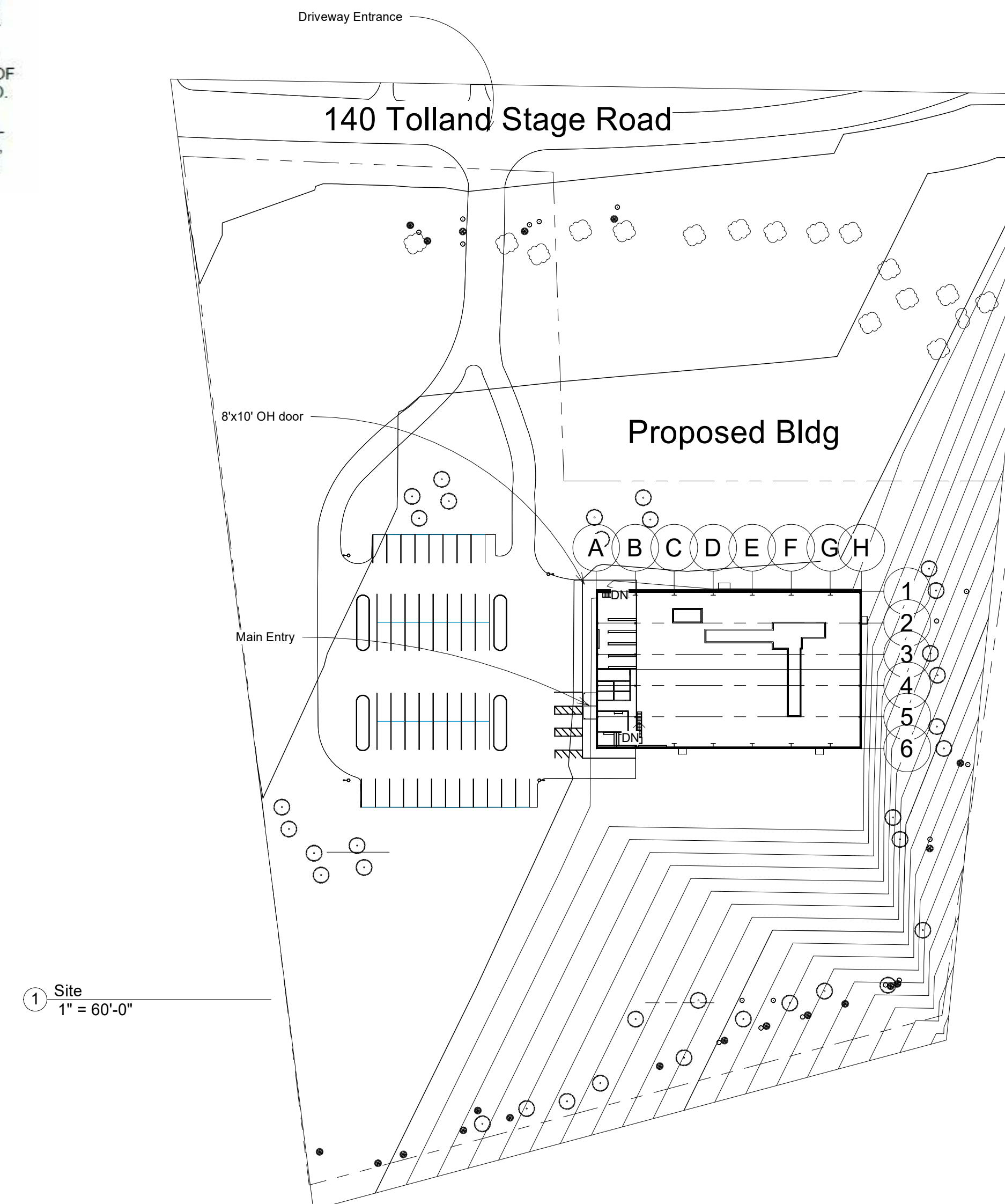
1. THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS, JOB AND EXISTING CONDITIONS, AS WELL AS DETAILS THAT RELATE TO NEW WORK PRIOR TO THE START OF ANY WORK, REPORTING ANY DISCREPANCIES TO THE ARCHITECT.
2. THE CONTRACTOR IS RESPONSIBLE FOR PROPERTY AND PUBLIC SAFETY REQUIREMENTS DURING AND UNTIL THE COMPLETION OF WORK.
3. DIMENSIONS ARE PROVIDED ON THE DRAWINGS, WHICH MUST NOT BE SCALED. IF ANY DISCREPANCIES ARE FOUND THE ARCHITECT SHALL BE NOTIFIED BY CONTRACTOR.
4. THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF DISCREPANCIES, UNFORESEEN CONDITIONS OR CHANGES TO THE WORK. IF CHANGES TO APPROVED PLANS ARE REQUIRED OR NECESSARY, SUBSEQUENT AMENDMENTS WILL BE FILED AND APPROVED BEFORE WORK COMMENCES.
5. EQUIPMENT LOCATIONS SHOWN WITHOUT DIMENSIONS WILL INVOLVE FIELD ADJUSTMENTS BY THE CONTRACTOR AS REQ'D.
6. ELECTRICAL WIRING, PANELS, SWITCHES, OUTLETS WILL MEET IBC 2015 ELECTRICAL CODE & INSTALLED BY LICENSED ELECTRICIAN.
7. CEILING OPENINGS FOR ELECTRICAL DEVICES MAY NOT EXCEED 15 SF PER 90 SF OF CEILING SURFACE.
8. WIRING AND PIPING ARE SHOWN BY DIAGRAMS WITHOUT DETAIL OR SPECIFICATIONS SUBJECT TO RESPONSIBILITY & REVIEW BY LICENSEE.
9. SUSPENDED CEILINGS TO COMPLY WITH IBC 2015.
10. AT THE PROJECT'S SUBSTANTIAL COMPLETION, CONTRACTOR WILL FURNISH COPIES OF AS-BUILT DRAWINGS WITH PERMIT SIGN-OFFS FROM CONST., MECH., ELECT., & PLUMBING DIVISIONS.
11. STRUCTURAL SLABS, DEMISING, EXTERIOR & CHASE WALLS MAY NOT BE MODIFIED OR ALTERED WITHOUT WRITTEN CONSENTS FROM BLDG. MGMT. na
12. THE INTEGRITIES OF FIRE RATINGS FOR BEAMS AND COLUMNS WILL BE MAINTAINED AS IS. ANY DISRUPTION OR DISTURBANCE MUST BE REPLACED AND/OR RESTORED PRIOR TO APPLICATION OF FINISHES.
13. CINDER CONCRETE SLABS REQUIRE MECHANICAL FASTENERS ANCHORS, HILTI OR APPROVED EQ., WITH A PULL TEST. NO POWDER ACTUATED FASTENERS ALLOWED. na
14. CEMENTITIOUS BACKER WALLBOARDS WILL PROVIDE VERTICAL SUPPORT FOR ALL TILE INSTALLATIONS: ANSI A 108.11. na
15. GYPSUM WALLBOARD, (GWB) SHALL MEET U.L. FIRE RESISTANCE RATINGS & ASTM C-36, TYPE III, CL. 1, STYLE 3, TAPER EDGED SPEC. na
16. STUDS SHALL BE MIN. 22 GA CHANNEL SHAPED METAL, FLANGES MINIMUM 1 1/4" WIDTH. na
19. LOCATIONS WHICH REQUIRE ELECT. PANELS OR OTHER HEAVY FIXTURES, MTL STUDS WILL BE REINFORCED WITH WOOD FRAMING. na
20. MTL STUD TRACK INSTALLATIONS FOLLOW PROJECT DRAWINGS & APPROVED INDUSTRY STANDARDS IN ASTM C754-17 GUIDELINES.
21. INSULATION SHALL BE INSTALLED ACCORDING TO MFR'S SPEC'S AND ASTM GUIDELINES C-665., FINISHING OF WHICH SHALL MEET ASTM C 840, SEALANT APPLICATIONS ASTM C 919.
22. GYPSUM ASSOCIATION, (GA), GA-214 RECOMMENDED LEVELS OF GYPSUM BOARD FINISHES, GA-216 APPLICATIONS & FINISHES OF GYPSUM PANEL PRODUCTS, GA-253, APPLICATIONS OF GYPSUM SHEATHING.

### electrical

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE IBC 2015 NATIONAL & CT STATE 2018 ELECTRICAL CODES.
2. GENERAL CONTRACTOR (GC) SHALL COORDINATE HIS WORK WITH SUB-CONTRACTORS TO MAINTAIN PROGRESS AND AVOID WORK DISRUPTIONS OR CONFLICTS AMONG TRADES. THE GC IS RESPONSIBLE FOR MATLS, MEANS, METHODS & SCHEDULING ONLY. THE ARCHITECT IS RESPONSIBLE FOR THE DRAWINGS ONLY.
3. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID SUBMITTALS TO BECOME FAMILIAR WITH THE CONDITIONS AND DRWG DETAILS TO MAXIMIZE THE BEST OUTCOME UPON COMPLETION.
4. THE GENERAL CONTRACTOR SHALL COORDINATE ALL SITE SURVEYS WITH AND BY SUB-CONTRACTORS AND THEIR TRADE SCOPES OF WORK. WORKING DIMENSIONS AS FOUND ON SITE SHALL BE CONVEYED TO THE ARCHITECT FOR CORRECTIONS OR REVISIONS TO THE DRAWINGS THAT ARE PRINCIPALLY DIAGRAMS THAT REQUIRE VERIFICATIONS AND DETAIL COORDINATIONS. ANY DISCREPANCIES FOUND AND NOT REPORTED TO THE ARCHITECT WHICH INCUR ADD'L COSTS SHALL BE CONTRACTOR'S RESPONSIBILITY.
5. CONTRACTOR SHALL DO HIS OWN CUTTING AND PATCHING UNLESS OTHERWISE NOTIFIED.
6. ALL EQUIPMENT SHALL BE NEW AND SHALL AND SHALL BEAR THE UL LABEL AND BEAR APPROVED BSA & MEA PRODUCT APPROVALS.
7. THE CONTRACTOR SHALL PROVIDE GENERAL LIABILITY INSURANCE CERTIFICATES TO THE OWNER.
8. CONTRACTOR SHALL PERFORM ALL REQUIRED, TESTS & INSPECTIONS NECESSARY TO OBTAIN CERTIFICATES OF APPROVAL FROM DEPT OF GENERAL SERVICES, BUREAU OF ELECTRICAL CONTROL AND PRESENT CERTIFICATES TO THE OWNER.
9. WIRING TO BE RUN IN APPROVED WIREWAYS, (BX OR GALV. EMT), CONDUITS OVER 2 1/2" DIA., WILL BE OF INTERMEDIATE WEIGHT GALV.
10. AT COMPLETION OF WIRING, CONTRACTOR SHALL PHASE BALANCE ENTIRE SYSTEM. ALL WIRING SHALL BE COPPER TYPE THW OR THWN, COLOR CODED WITH GREEN GROUND WIRE.
11. ALL NON-CURRENT CARRYING METAL PARTS OF FIXED EQUIP. SUCH AS RACEWAYS AND CONDUITS SHALL BE GROUNDED TO THE INCOMING SIDE OF THE WATER SERVICE TO THE BLDG. GROUND ALL WIRING SYSTEMS AND CIRCUITS. GROUNDING CONDUCTOR SHALL BE SIZED AS PER NYC & NATIONAL ELECTRICAL CODES.
12. ALL WORK INCLUDING CONDUITS AND WIRING SHALL MEET UTILITY'S REQUIREMENTS. CONTRACTOR WILL ARRANGE AND PAY THE REQUIRED CHARGES FOR CON ED SERVICES.
13. THE CIRCUITS AND PANEL SCHEDULES SHOWN ARE TO BE USED AS GUIDES. THE ACTUAL INSTALLATION OF THE CIRCUITS SHALL BE MADE BY CONNECTION TO ALTERNATE PHASES USING A COMMON NEUTRAL IN PANELS. THE APPROPRIATE CIRCUIT NUMBERS AND DESIGNATIONS SHALL BE INDICATED ON A TYPED DIRECTORY PLACED INSIDE THE PANEL DOOR. CIRCUIT BREAKERS SHALL BE FULL SIZE.
14. CONTRACTOR SHALL PROVIDE NECESSARY POWER WIRING TO ALL MECH. & ELECT. EQUIPMENT INCLUDING FINAL INSTALLATION EQUIP.
15. CONNECTIONS TO ROTATING EQUIPMENT, (FANS, PUMPS, ACS), SHALL BE MADE W/ APPROVED SEAL-TIGHT FLEXIBLE CONDUIT 18" MAX. LENGTH.
16. CONTRACTOR SHALL PROVIDE NECESSARY JUNCTION, PULL & OUTLET BOXES, REQ'D DISCONNECT SWITCHES, (FUSED & NON-FUSED), CONTR' SHALL MOUNT THOSE MOTOR STARTERS NOT INTEGRAL WITH EQUIP. PROVIDED BY OTHER TRADES, AS INDICATED ON THE DRAWINGS.
17. LIGHTING FIXTURES ARE TO BE COMPLETE WITH LAMPS, LENS & HDWE, APPROVED BY UTILITY COMPANY.
18. LIGHTING FIXTURES STORED ON SITE ARE TO BE PROTECTED FROM DAMAGES. CONTRACTOR IS RESPONSIBLE FOR COSTS IF INCURRED, AND FOR SAFE INSTALLATIONS.

## general construction

19. TOGGLE WALL SWITCHES SHALL BE RATED AND SHALL BE MOUNTED AT 48" A.F.F.
20. RECEPTACLES WILL BE MOUNTED AT 36" A.F.F., UNLESS OTHERWISE NOTED. FACE PLATES ARE SELECTED BY ARCH.
21. CONTRACTOR SHALL WIRE ALL MOTOR CONTROLLERS AS REQ'D. PROVIDE REMOTE PUSH BUTTON STATIONS TO START /STOP HOOD EXHAUST FANS & PILOT LIGHTS. CONFIGURE HOOD EXH. FANS WITH THEIR RESPECTIVE GAS SOLENOID VALVES TO PREVENT COOKING WITHOUT FAN OPERATION.
22. PROVIDE AND CONNECT SMOKE DETECTORS TO STOP THEIR RESPECTIVE AC UNITS. SMOKE DETECTORS TO BE OF THE IONIZATION OR PHOTO-ELECTRIC TYPE, UL APPROVED.
23. THERE SHALL BE NO CHANGE TO EXISTING ELECTRICAL SERVICE SUPPLY IN THIS SCOPE OF WORK'S APPLICATION, WITHOUT WRITTEN AUTHORIZATION FROM BLDG MGMT. na



consultants:

## Feasibility Review

140 Tolland Stage Rd.  
Tolland, CT

project

Tri-Town Gymnasium

peaslee architect pc

648 rte 198 woodstock valley, ct 06282  
718 383 8909 917 945 2465 c  
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preliminary  
23\_0522

preliminary  
23\_0524

These drawings are instruments of service only for use in this project. Dimensions and existing conditions must be field verified by contractor with understanding that any discrepancies will be submitted as written notices to the architect.

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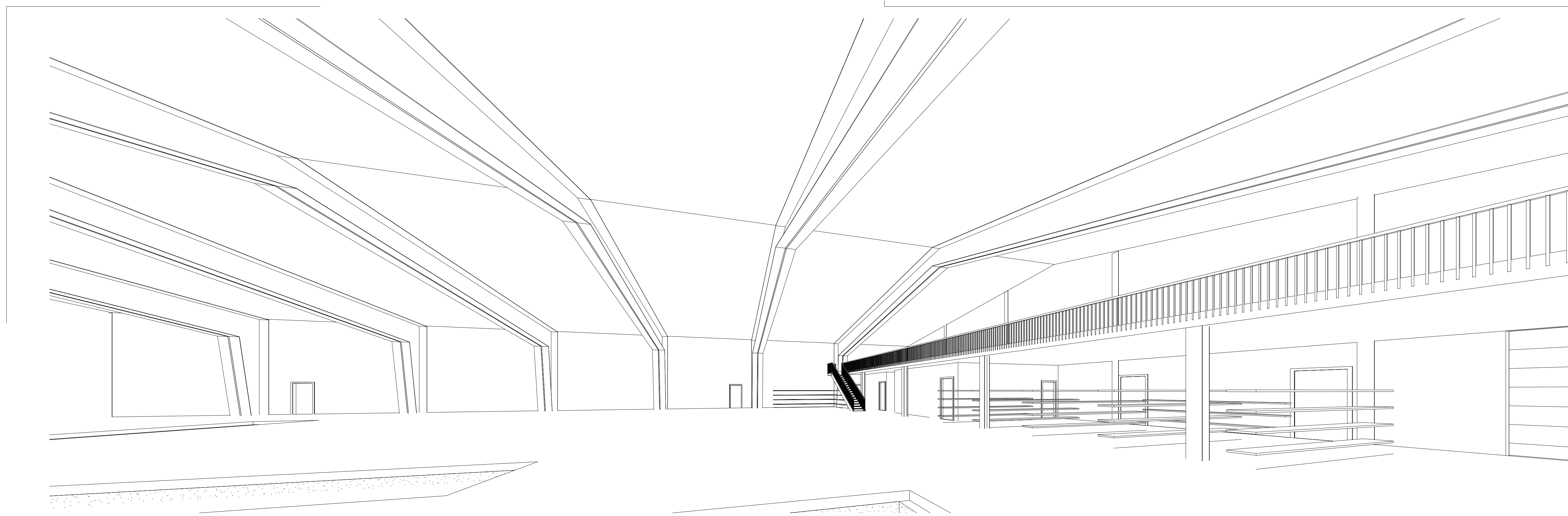
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woodstock valley, ct  
06282

718 383 8909

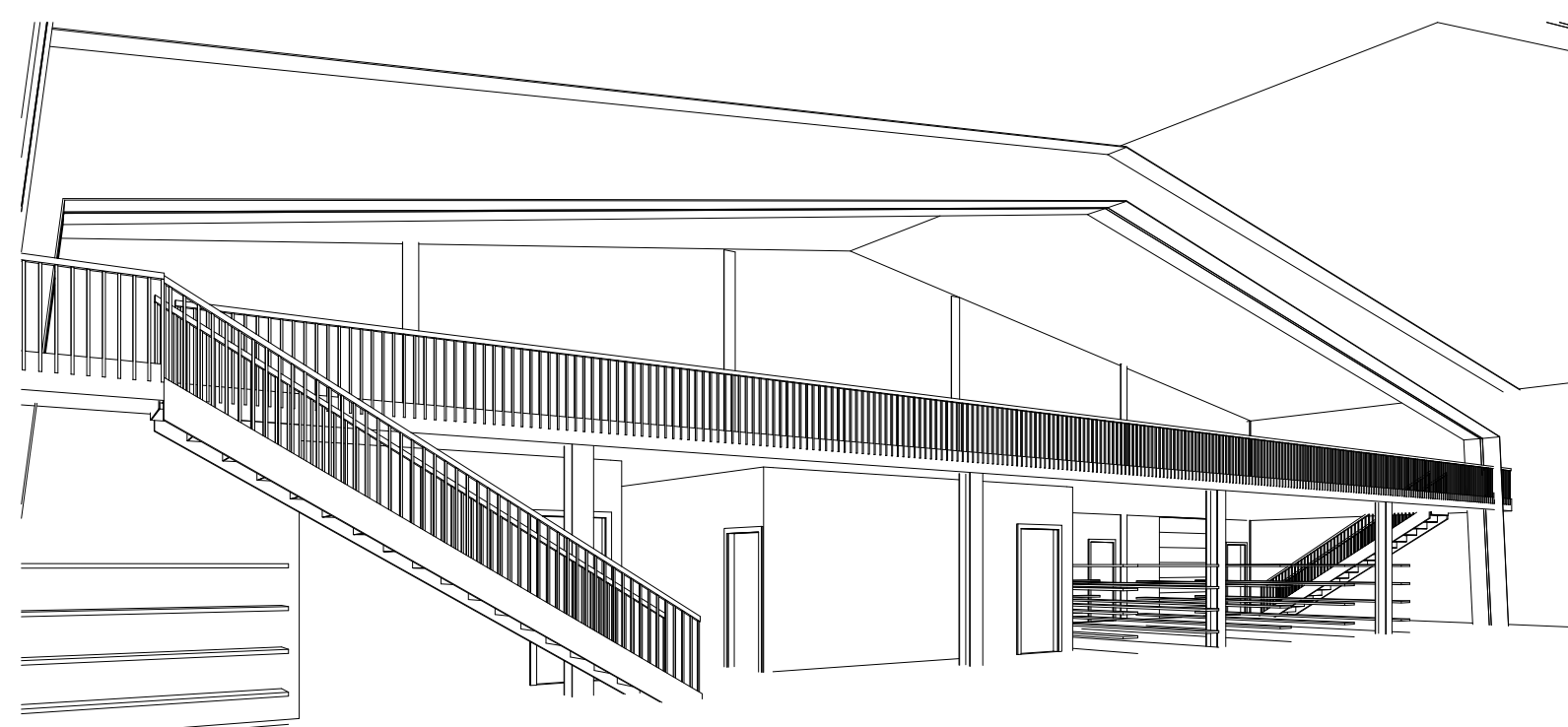
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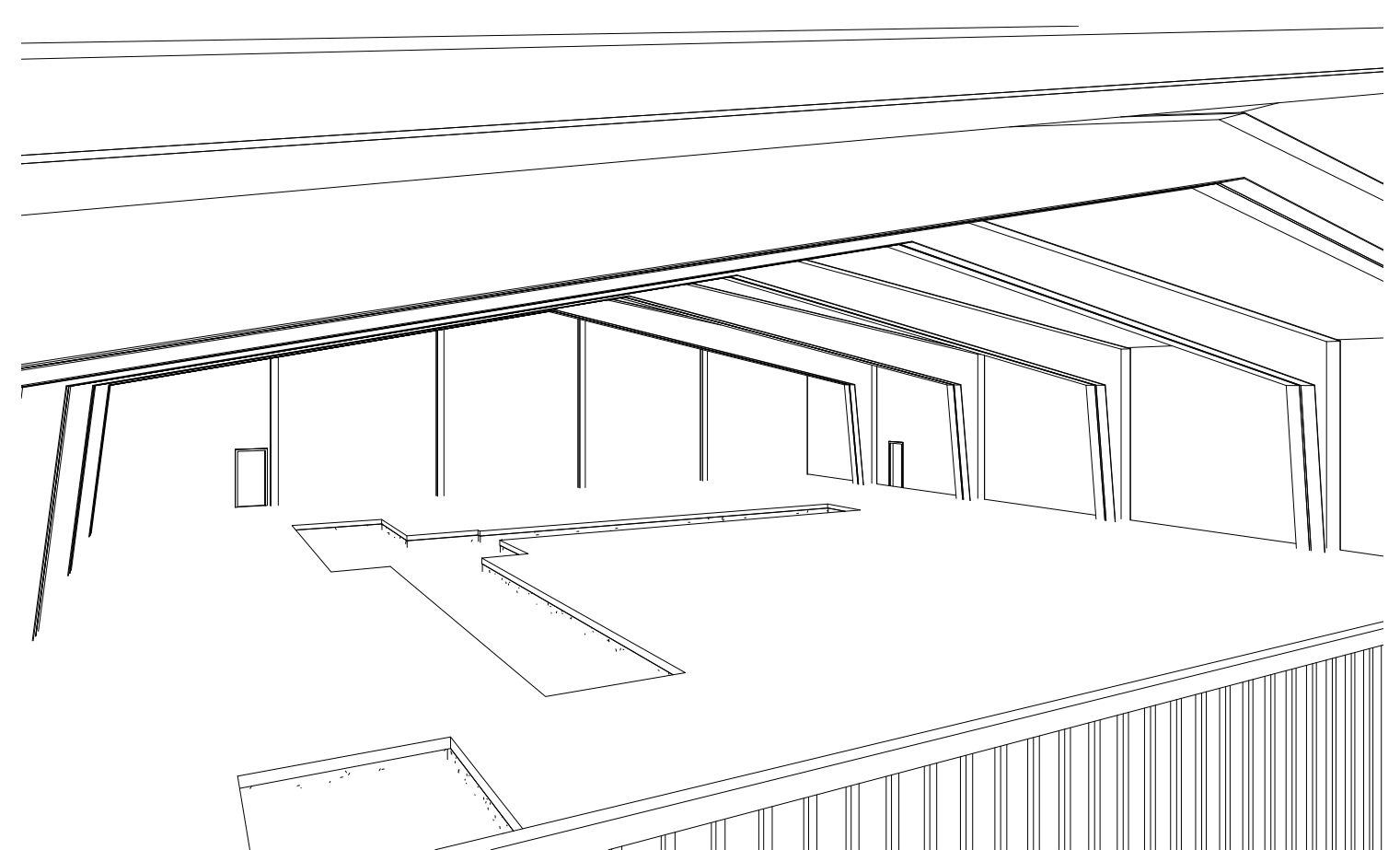
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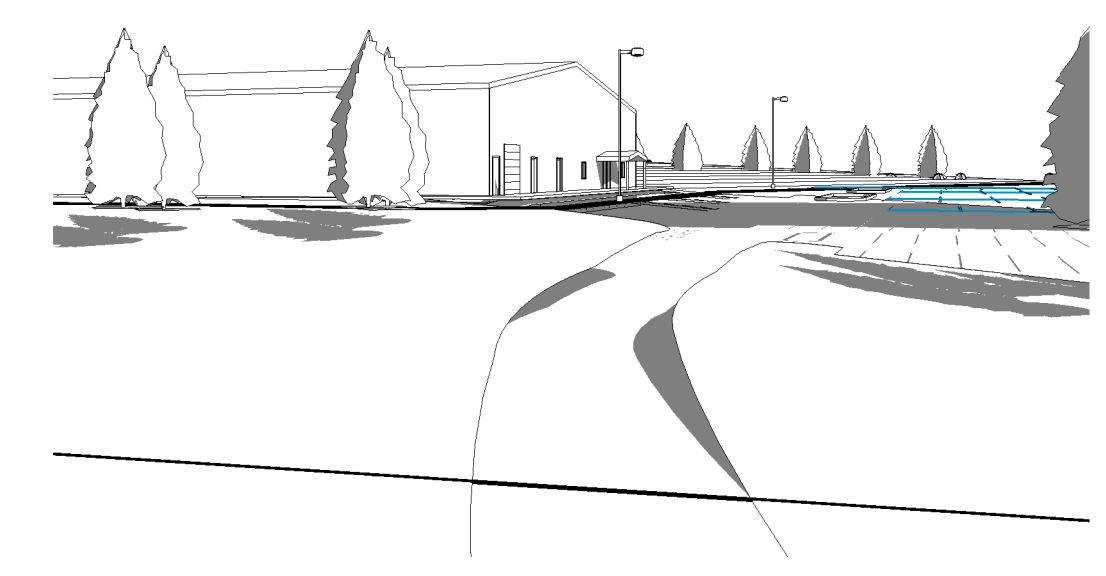
2 3D View 5



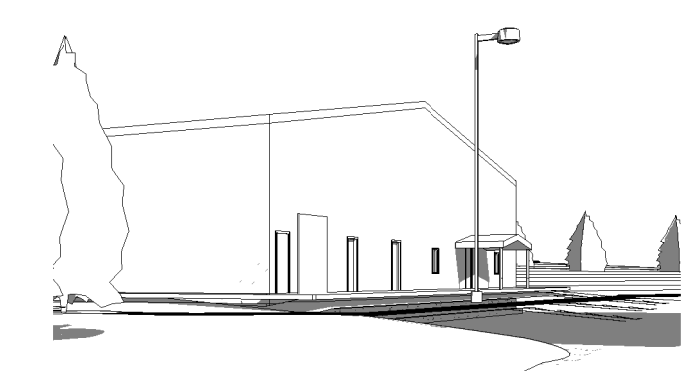
5 3D View 2



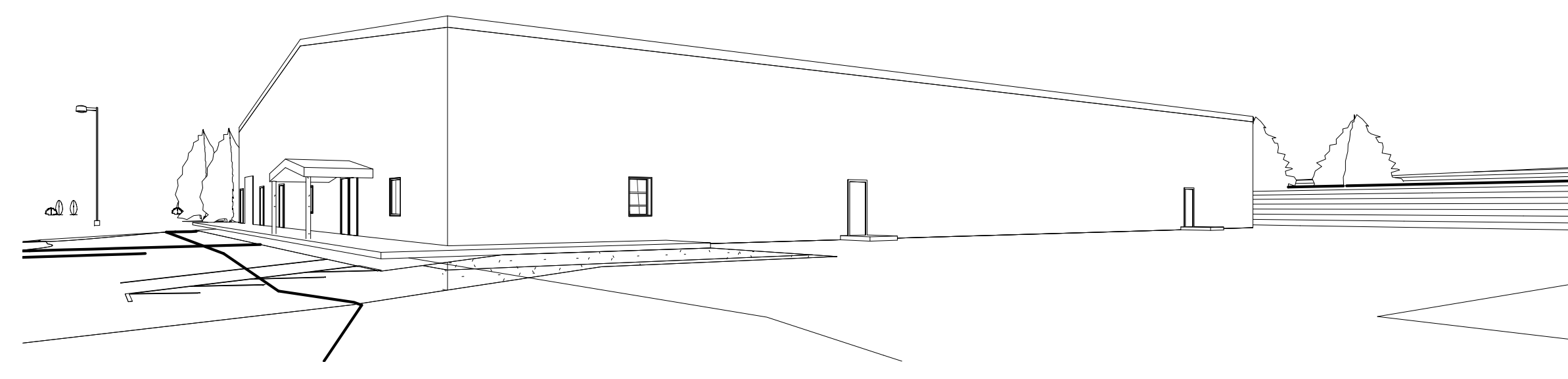
3 3D View 4



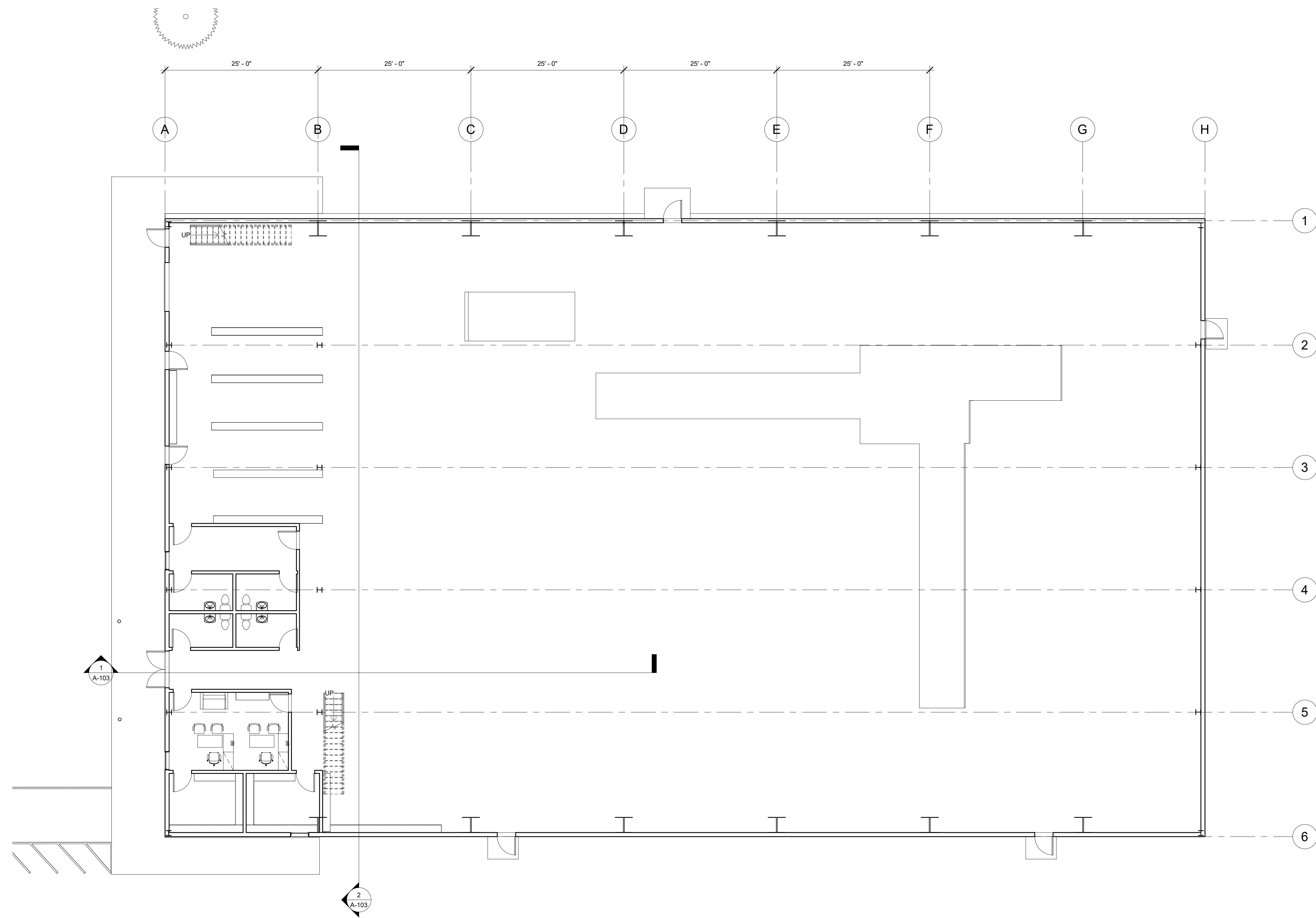
1 3D View 6



4 3D View 3



6 3D View 1



1 Level 1  
1/8" = 1'-0"

no.	description	date
preliminary		
23_0522		
preliminary		
23_0524		

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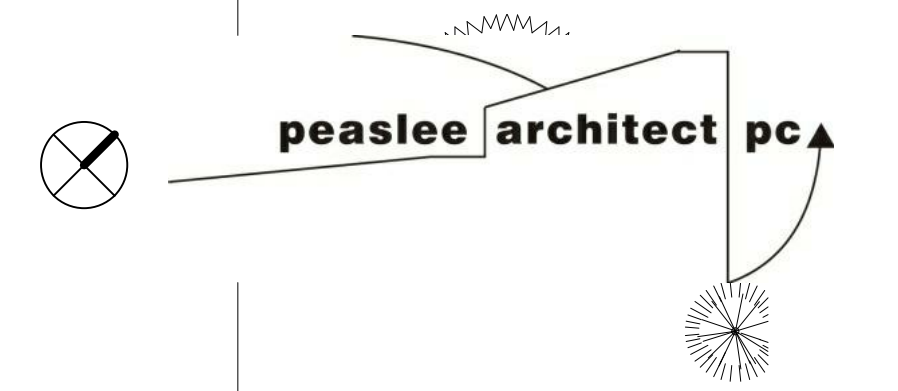
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no. description date

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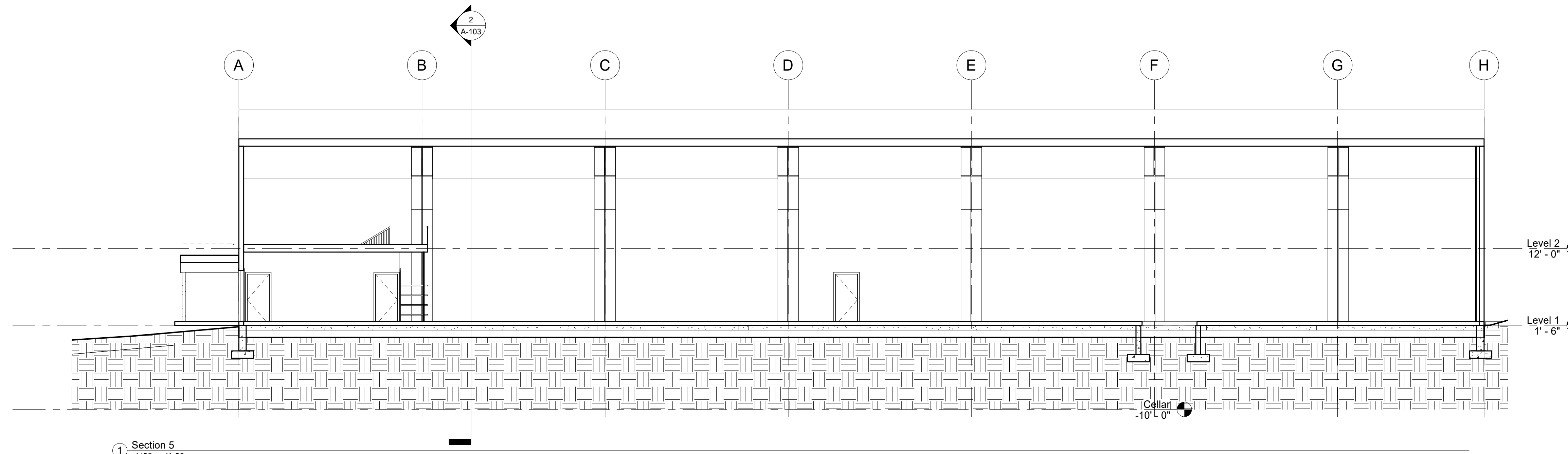
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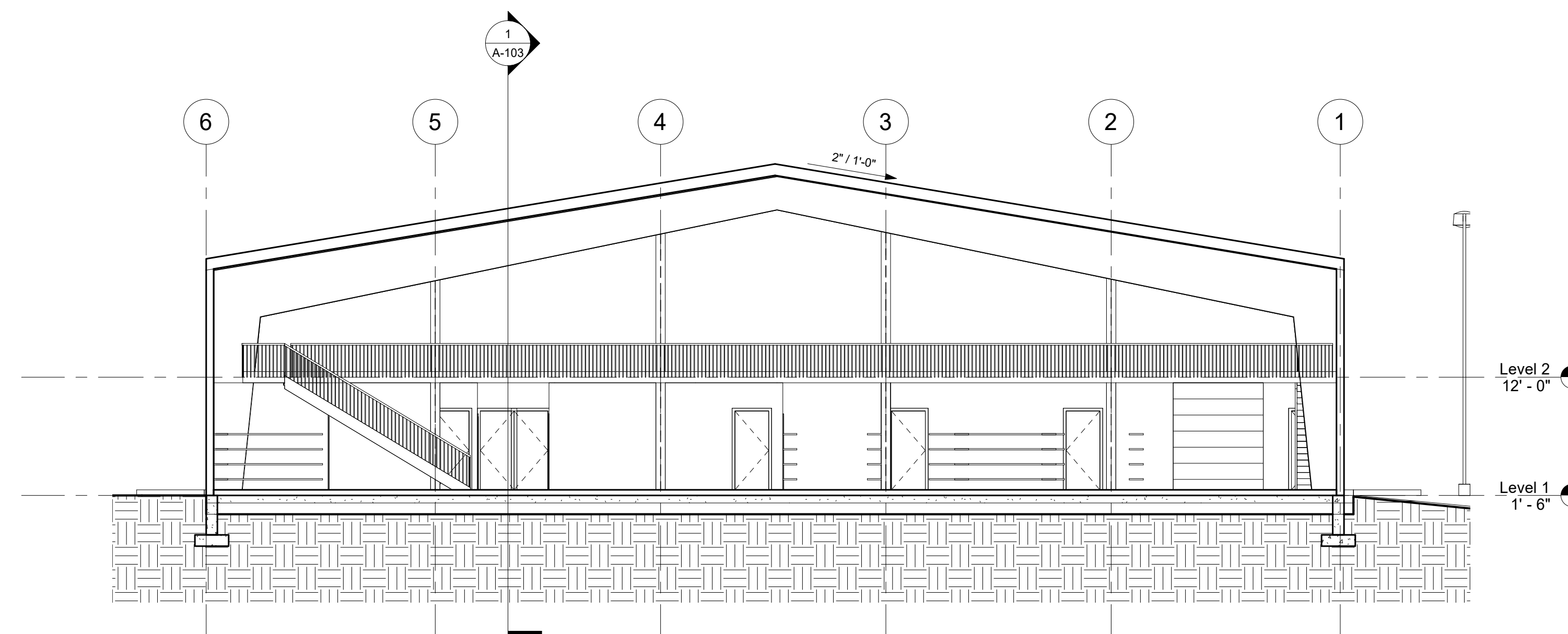
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1 Section 5  
1/8" = 1'-0"



2 Section 6  
1/8" = 1'-0"

no.	description	date
	preliminary	
	23_0522	
	preliminary	
	23_0524	

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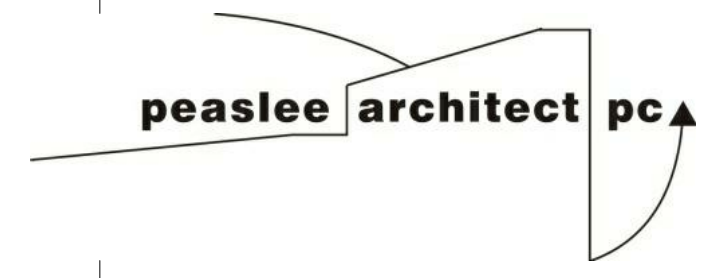
consultants:

**Feasibility Review**

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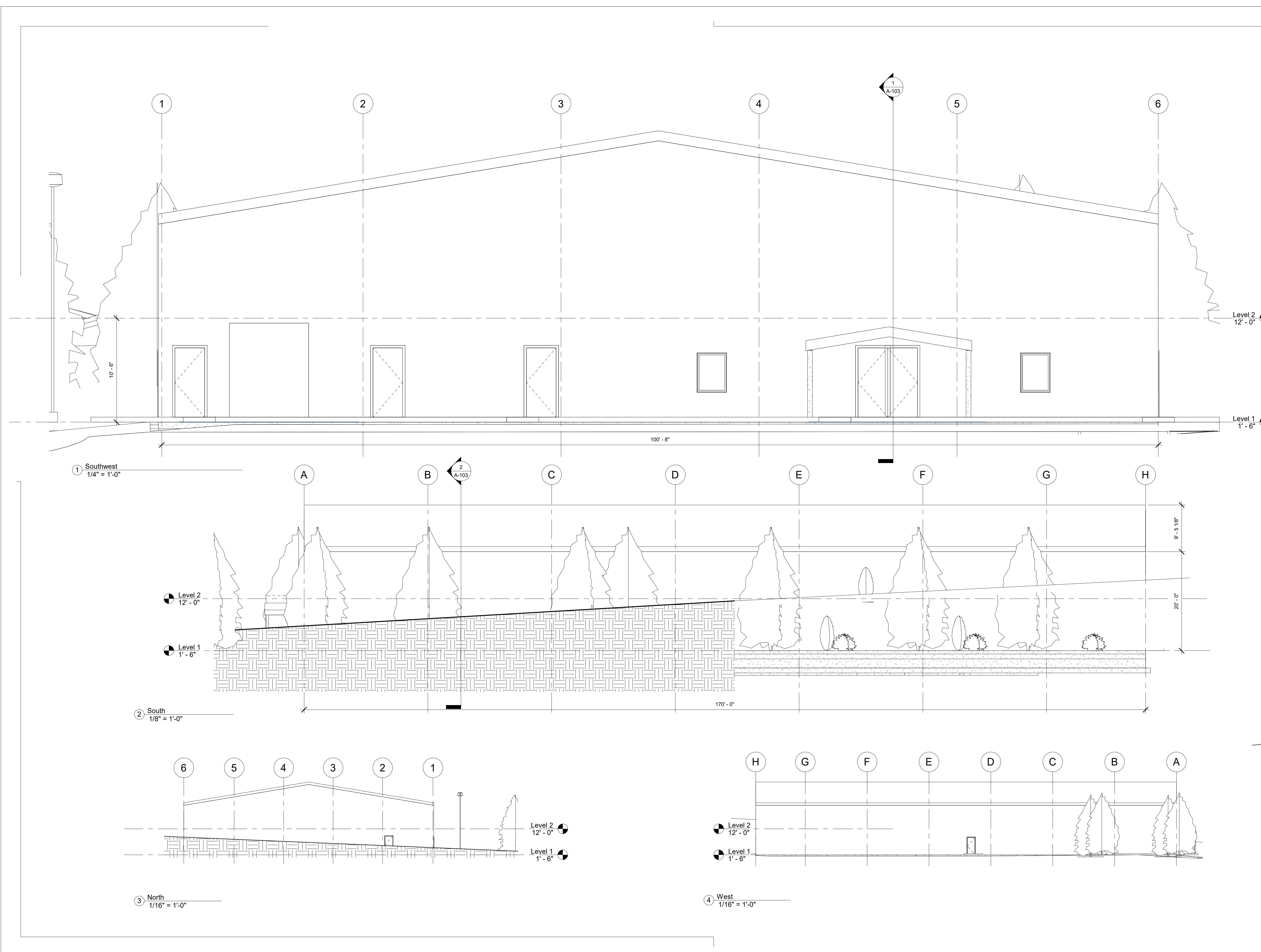


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# Design Advisory Board

## Meeting Minutes

21 Tolland Green, Level 2, Conference Room B, Tolland, Connecticut

Thursday, March 3, 2022

**Members Present:** Sudhakar Nagardeolekar (Chair), Vikas Nagardeolekar (Vice Chair), Bill Byers, Kimberly Rogers

**Others Present:** David Corcoran (Director of Planning & Development), Kevin Santini, Eric Santini, Eric Peterson

S. Nargardeolekar called the meeting to order at 7:03 PM

### **10 Fieldstone Commons – Applicant: Fieldstone Ridge, LLC – Review of Landscaping and Building Design.**

The 10 Fieldstone Commons application was discussed. The applicant Fieldstone Ridge, LLC for the 10 Fieldstone project made a detailed presentation. The Drawings presented for review at this meeting met the criteria set by the Design Advisory Board. The Design Advisory Board noted they received a meeting notice on February 24, 2022, for a meeting to be held on March 3, 2022. This time line did not allow DAB Members to review the drawing in detail for their comments. In general, the project design as presented to DAB, is satisfactory. DAB needs to review in detail following items:

- 1) Detail review of proposed landscaping.
- 2) Review of proposed Building material samples and color co-ordination.

The Design Advisory Board is also concerned about the secondary means of egress from the project site, for providing proper turning radius for firefighting equipment

### **DAB Member Re-Appointment –**

Everybody is interested in being appointed. Discussed open position and trying to fill the empty slot. D. Corcoran will work with Town to send an e-mail blast for the position. They are looking for somebody with landscape/design experience and plant knowledge.

### **Approve Minutes – August 5, 2021 Regular Meeting**

V. Nagardeolekar moved and K. Rogers seconded to approve the minutes.

The meeting was adjourned at 8:15 PM.

Respectfully Submitted,

David Corcoran, Director of Planning and Development