

**Agenda**  
**Tolland Design Advisory Board**  
**21 Tolland Green, Tolland, Connecticut**  
**Thursday, June 1, 2023 at 7:00 p.m., 2<sup>nd</sup> floor, Conference Room B**

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1. Call to Order
2. New Business
  - 2.1. 33 Fieldstone Commons – Proposed 2,400 sq. ft. restaurant with a drive-through.  
Applicant: Prospect Enterprises, LLC
3. Old Business
4. Approve Minutes – August 4, 2022 Regular Meeting
5. Other Business
6. Adjournment



May 22, 2023

Ref: 42896.00

David Corcoran, AICP  
Director of Planning and Development  
Town of Tolland  
21 Tolland Green  
Tolland, CT 06084

Re: Proposed Starbucks – Fieldstone Commons – Design Advisory Board Submission

Mr. Corcoran,

VHB, on behalf of our Client, Prospect Enterprises, LLC, is pleased to submit the following information and request to be placed on the Design Advisory Board's agenda for June 1, 2023:

- Five (5) copies of a planset prepared by VHB titled, "Proposed Starbucks" dated May 22, 2023. Please note that selected sheets such as the utility plan, site details and the erosion control plan have been excluded from this set
- Five (5) copies of the following architectural plans by BKA Architects dated May 22, 2023:
  - A101 Floor Plan
  - A400 Exterior Elevations
  - E-01 Exterior Elevations dated May 19, 2023

Please let us know if you require additional information in order to be placed on the June 1<sup>st</sup> agenda or if you have any questions.

Sincerely,

Vanasse Hangen Brustlin, Inc.

A handwritten signature in blue ink that reads "Paul Vitaliano".

Paul Vitaliano, P.E.

CT Director of Land Development  
pvitaliano@vhb.com

**Engineers | Scientists | Planners | Designers**

100 Great Meadow Road  
Wethersfield, Connecticut 06109  
P 860.807.4300  
F 860.372.4570

# Site Plans

Issued for	Local Approvals
Date Issued	May 22, 2023
Latest Issue	May 22, 2023

## Proposed Starbucks

33 Fieldstone Commons  
Tolland, Connecticut



### Owner

Capitol Ventures LLC  
231 Farmington Ave  
Farmington, CT  
06032

### Applicant

Prospect Enterprises, LLC  
231 Farmington Ave  
Farmington, CT 06032

**Assessor's Map: 28**  
**Lot: C2.03**

### Sheet Index

No.	Drawing Title	Latest Issue
C-1	Legend and General Notes	May 22, 2023
C-2	Overall Plan	May 22, 2023
C-3	Layout and Materials Plan	May 22, 2023
C-4	Grading and Drainage Plan	May 22, 2023
C-5	Utility Plan	May 22, 2023
C-6	Erosion and Sediment Control Plan	May 22, 2023
C-7	Site Details 1	May 22, 2023
C-8	Site Details 2	May 22, 2023
L-1	Planting Plan	May 22, 2023
L-2	Planting Details	May 22, 2023

### Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Property Survey & Topographic Survey	March 14, 2022





100 Great Meadow Road  
Suite 200  
Wethersfield, CT 06109  
860.807.4300

Legend

Legend table with columns for Exist. and Prop. symbols and descriptions for various site features like property lines, pavements, buildings, and utilities.

Abbreviations

Abbreviations table listing symbols and names for general site features such as ABAN (Abandon), ACR (Accessible Curb Ramp), and various utility types.

Notes

- Notes section containing 14 numbered items detailing construction requirements, safety protocols, and utility management instructions.

Layout and Materials

- Layout and Materials section with 6 numbered items regarding dimensions, curbing, and architectural details.

Demolition

- Demolition section with 5 numbered items detailing the removal of existing structures and utilities.

Erosion Control

- Erosion Control section with 4 numbered items describing measures to prevent soil erosion during construction.

Existing Conditions Information

- Existing Conditions Information section with 2 numbered items regarding site conditions and utility surveys.

Document Use

- Document Use section with 3 numbered items detailing the use of electronic versions and data files.

Proposed Starbucks

33 Fieldstone Commons  
Tolland, Connecticut

Table with columns for No., Revision, Date, and Appr. for document tracking.

Designed by KE Checked by PV  
Issued for Date

Local Approvals

May 22, 2023

Not Approved for Construction

Legend box with a black background and white text for the legend title.



C-1

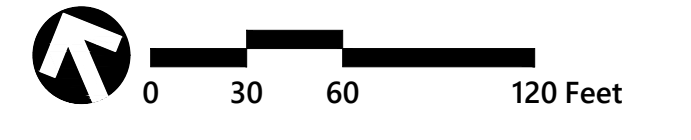
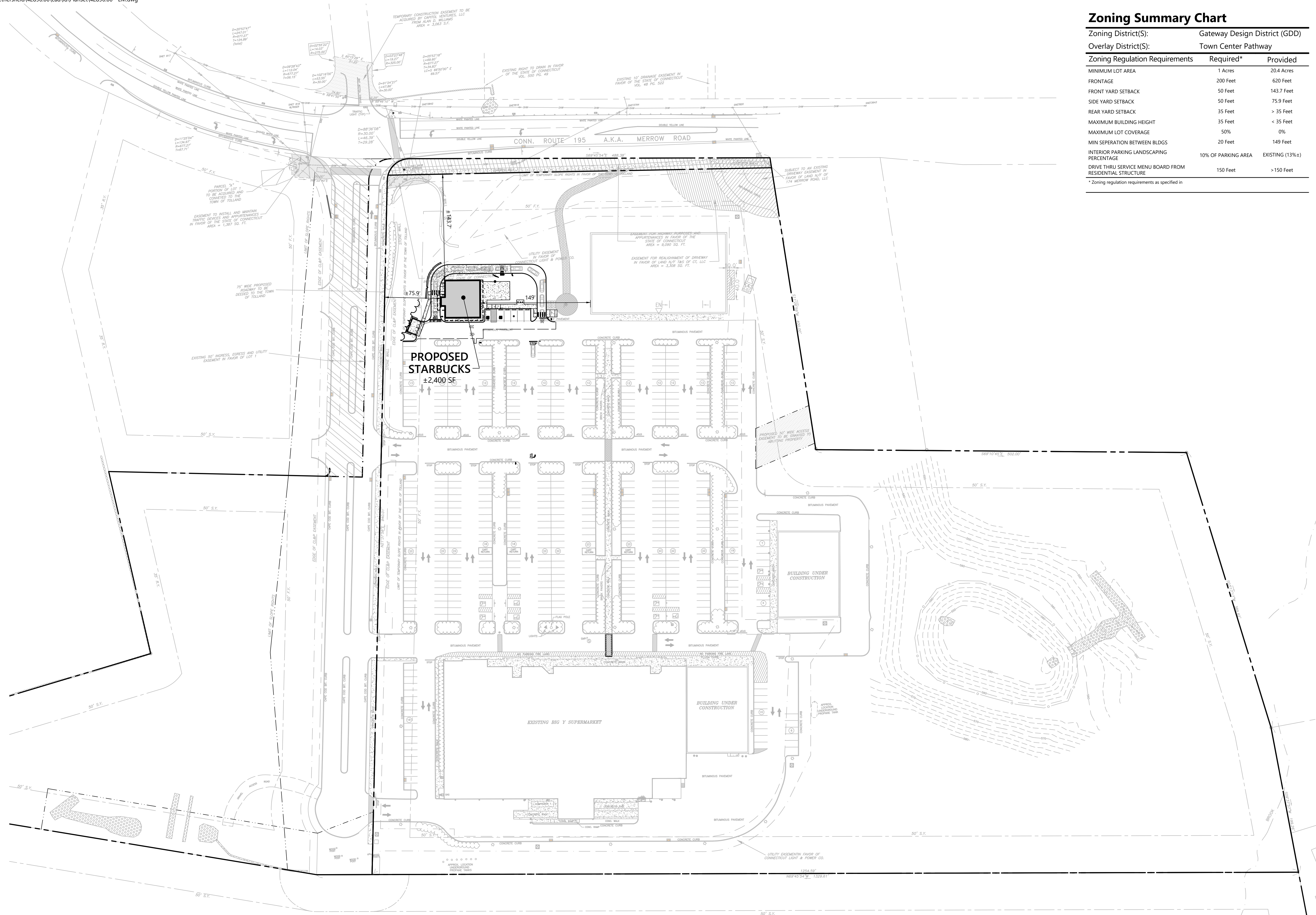


100 Great Meadow Road  
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Wethersfield, CT 06109  
860.807.4300

### Zoning Summary Chart

Zoning District(S):	Gateway Design District (GDD)	
Overlay District(S):	Town Center Pathway	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	1 Acres	20.4 Acres
FRONTAGE	200 Feet	620 Feet
FRONT YARD SETBACK	50 Feet	143.7 Feet
SIDE YARD SETBACK	50 Feet	75.9 Feet
REAR YARD SETBACK	35 Feet	> 35 Feet
MAXIMUM BUILDING HEIGHT	35 Feet	< 35 Feet
MAXIMUM LOT COVERAGE	50%	0%
MIN SEPERATION BETWEEN BLDGS	20 Feet	149 Feet
INTERIOR PARKING LANDSCAPING PERCENTAGE	10% OF PARKING AREA	EXISTING (13%±)
DRIVE THRU SERVICE MENU BOARD FROM RESIDENTIAL STRUCTURE	150 Feet	> 150 Feet

\* Zoning regulation requirements as specified in



### Proposed Starbucks

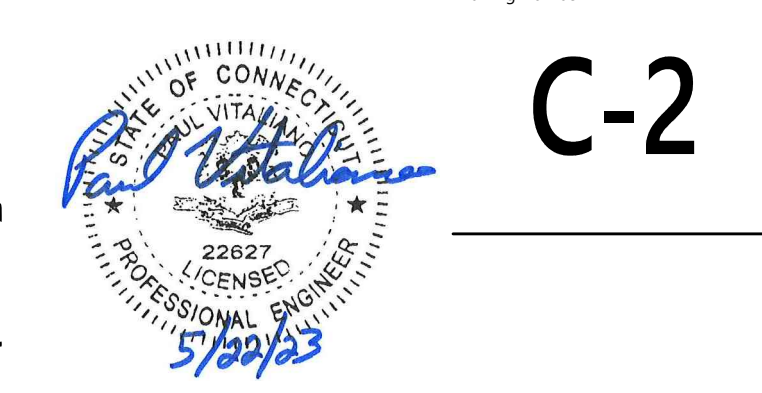
33 Fieldstone Commons  
Tolland, Connecticut

No.	Revision	Date	App'd.

Designed by: KE      Checked by: PV  
 Issued for:      Date: May 22, 2023

Local Approvals

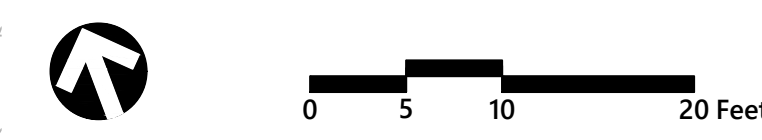
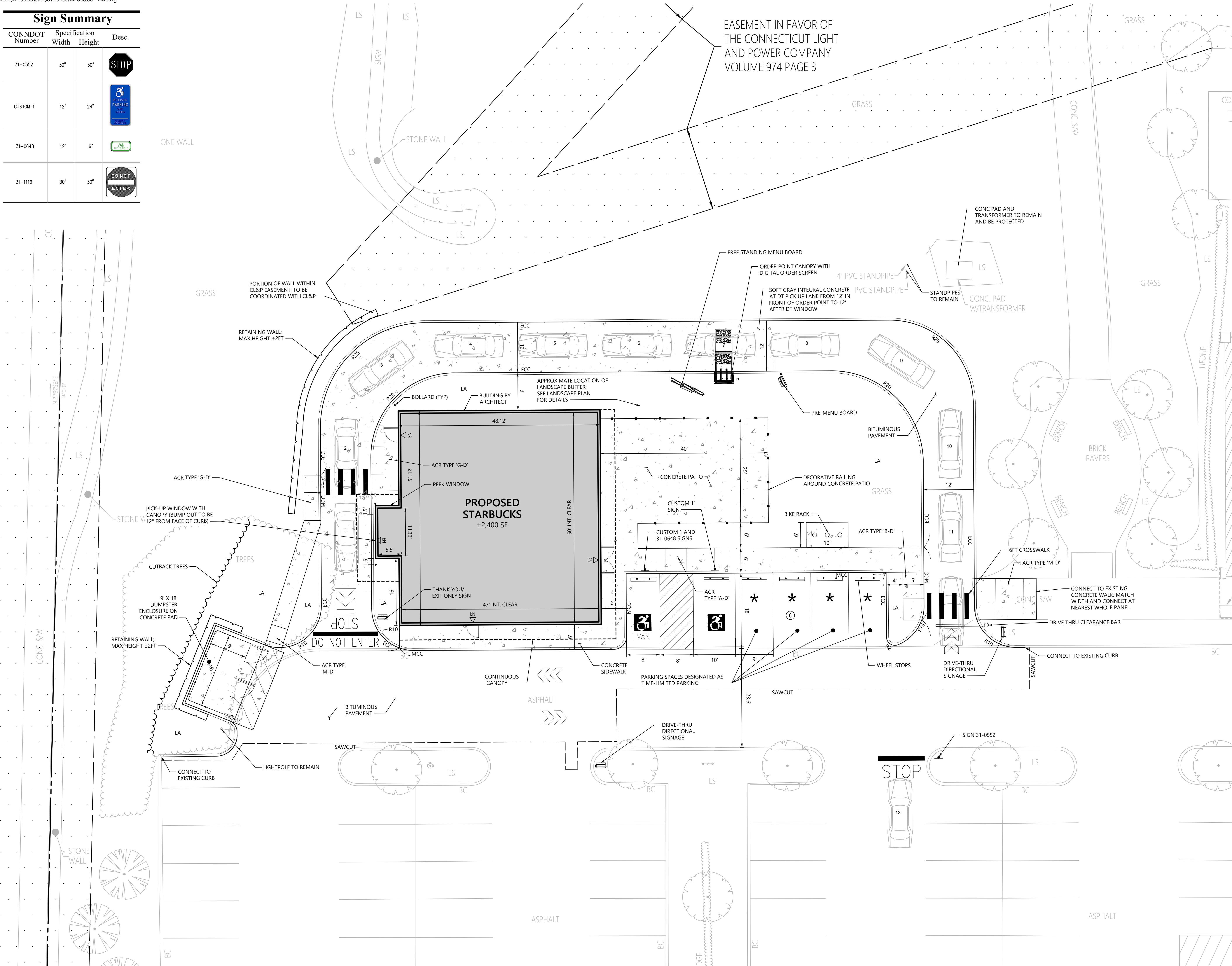
Not Approved for Construction  
 Drawing Title: Overall Site Plan  
 Drawing Number: C-2



### Sign Summary

CONNDOT Number	Specification Width	Specification Height	Desc.
31-0552	30"	30"	
CUSTOM 1	12"	24"	
31-0648	12"	6"	
31-1119	30"	30"	

EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY VOLUME 974 PAGE 3



### Proposed Starbucks

33 Fieldstone Commons  
Tolland, Connecticut

No.	Revision	Date	Appr.

Designed by KE      Checked by PV  
 Issued for Local Approvals      Date May 22, 2023

Not Approved for Construction  
 Drawing Title

**Layout and Materials Plan**

Project Number  
42896.00

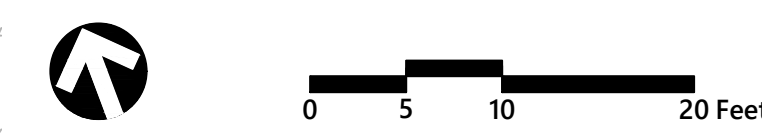
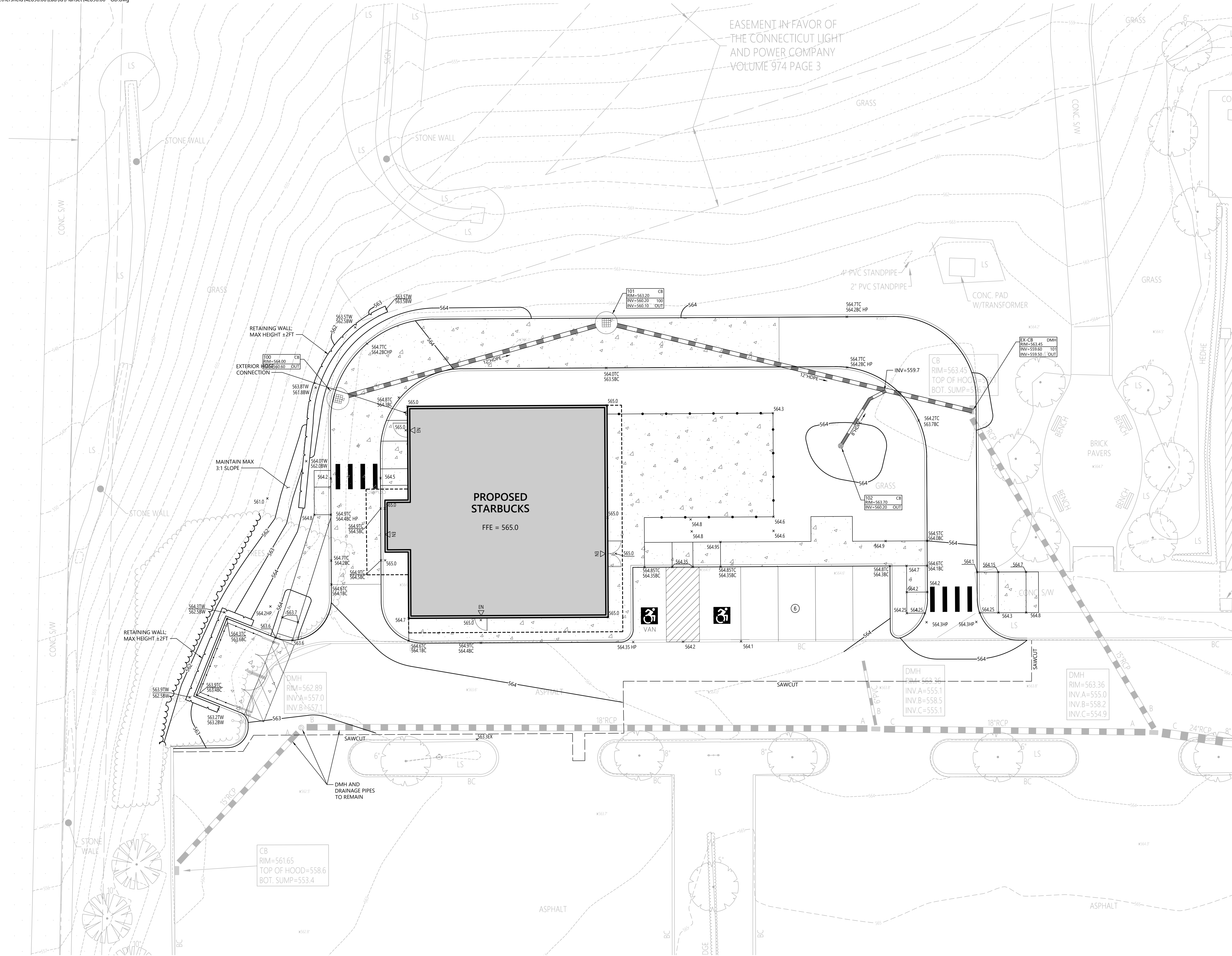
**C-3**

Saved Tuesday, January 3, 2023 5:13:23 PM REANNOTTI plotted Wednesday, May 17, 2023 5:51:38 PM Paul Vitaliano

EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY VOLUME 974 PAGE 3



100 Great Meadow Road Suite 200 Wethersfield, CT 06109 860.807.4300



### Proposed Starbucks

33 Fieldstone Commons  
Tolland, Connecticut

No.	Revision	Date	App'd.

Designed by KE      Checked by PV  
Issued for      Date      May 22, 2023

Local Approvals

Not Approved for Construction  
Drawing Title

Grading and Drainage Plan

Drawing Number

**C-4**



100 Great Meadow Road  
Suite 200  
Wethersfield, CT 06109  
860.807.4300

### Tree Protection

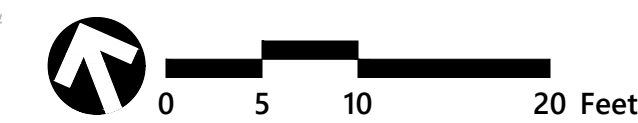
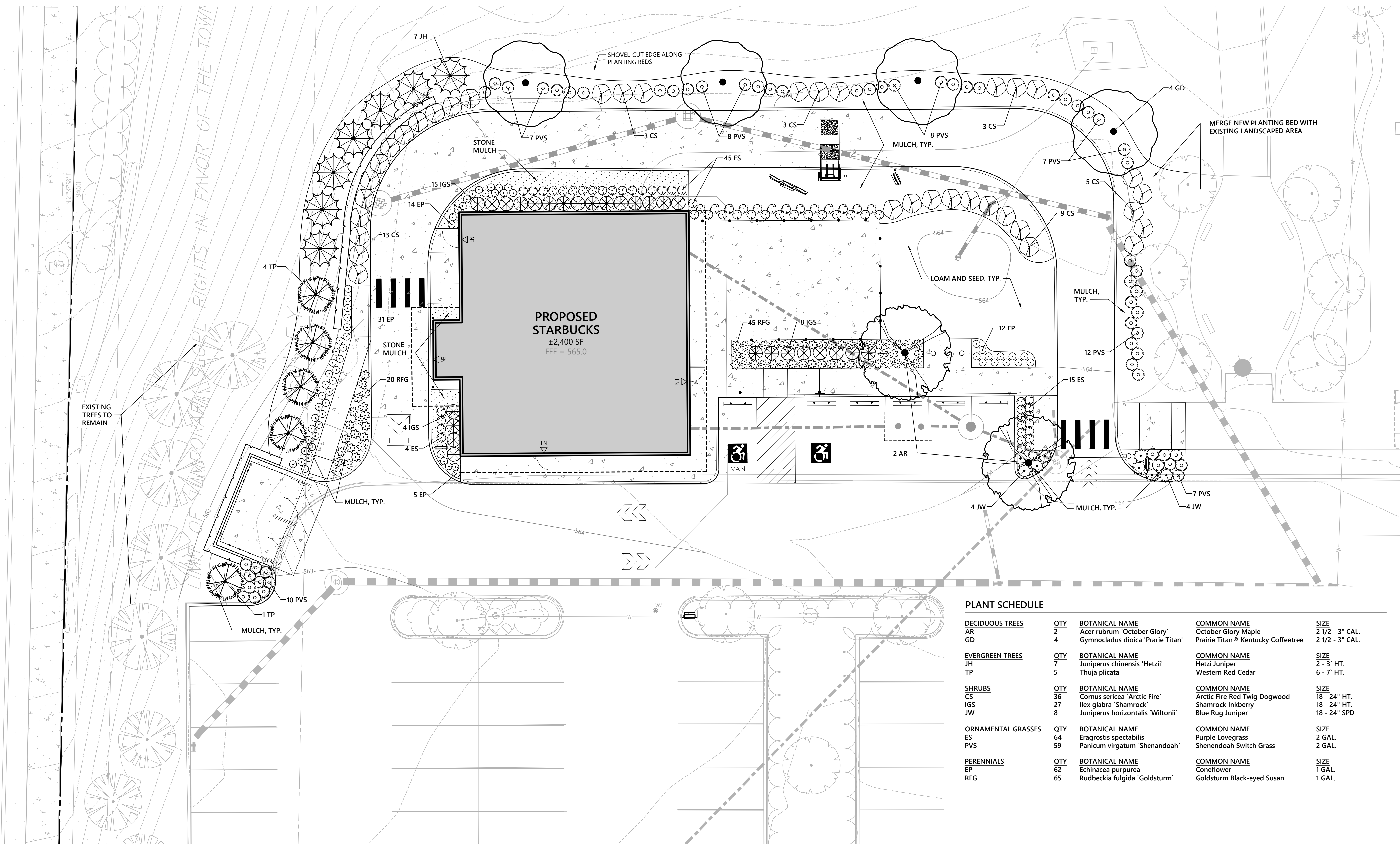
- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIFLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

### Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED MUST MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

### Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



### Proposed Starbucks

33 Fieldstone Commons  
Tolland, Connecticut

No.	Revision	Date	App'd

Designed by KE      Checked by PV  
 Issued for      Date  
 Local Approvals      May 22, 2023

Not Approved for Construction

### Planting Plan

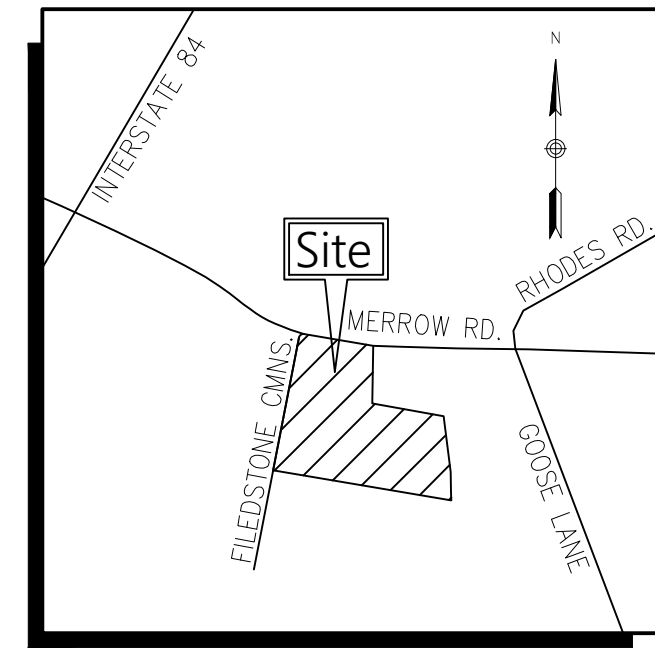


L-1





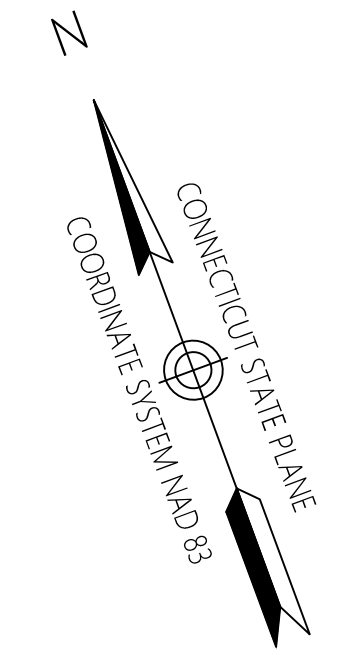
100 Great Meadow Road  
Suite 200  
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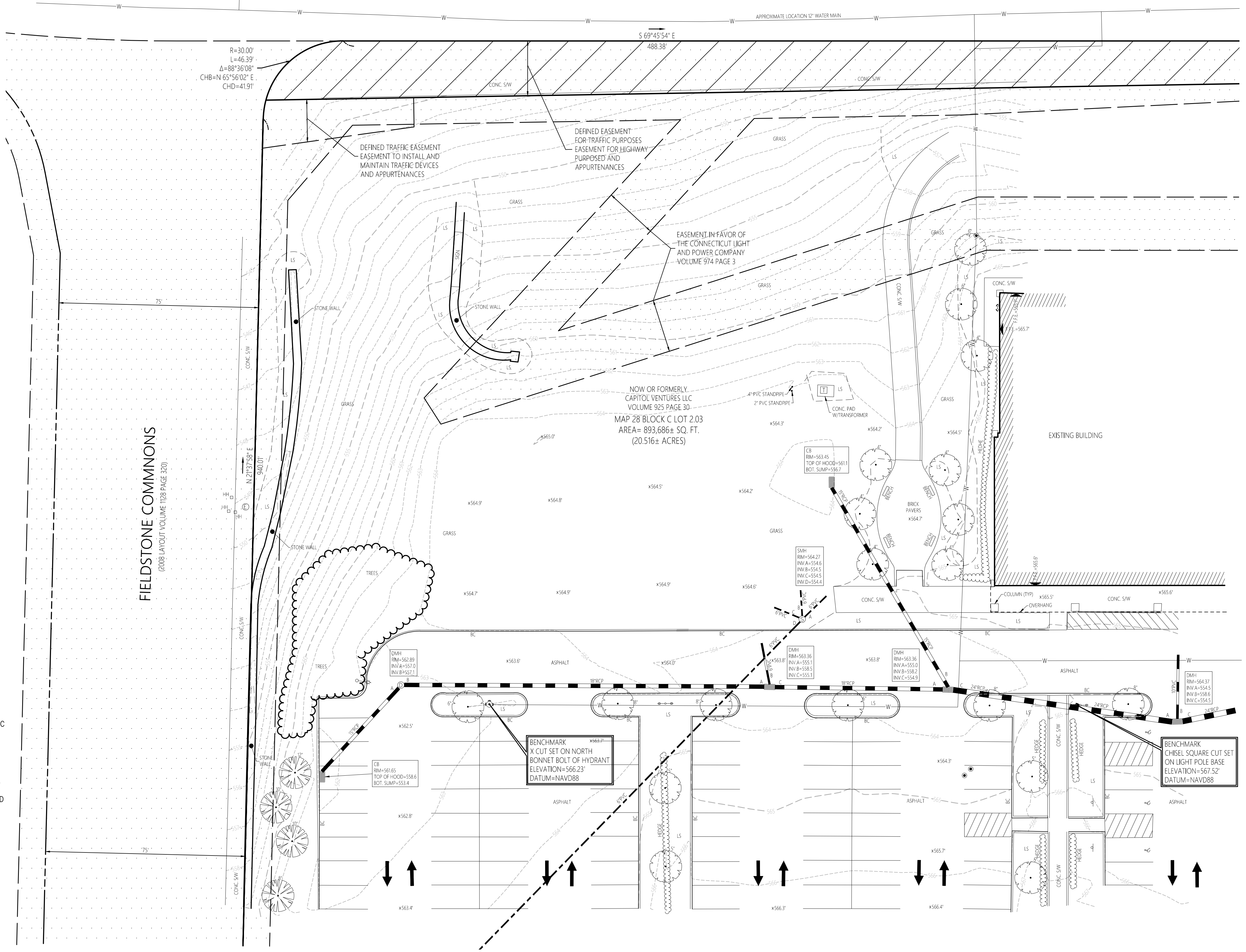
Locus Map  
(NOT TO SCALE)

Legend

- CC CONCRETE CURB
- SGC SLOPED GRANITE EDGING
- EOP EDGE OF PAVEMENT
- EOG EDGE OF GRAVEL
- BIT BITUMINOUS PAVEMENT
- CONC CONCRETE
- SAW CONCRETE SIDEWALK
- UP UTILITY POLE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYLCHLORIDE PIPE
- CMP CORRUGATED METAL PIPE
- CPP CORRUGATED PLASTIC PIPE
- DWL DASHED WHITE LINE
- CB CATCH BASIN
- MH MANHOLE
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- RM RIM ELEVATION
- INV INVERT ELEVATION
- ELEV ELEVATION
- F.F.E FINISH FLOOR ELEVATION
- TYP TYPICAL
- AC AIR CONDITIONING
- EB ELECTRIC BOX
- EM ELECTRIC METER
- GM GAS METER
- HH HAND HOLE
- PP PIN/PIPE FOUND
- MF MONUMENT FOUND
- PM PROPERTY MARKER SET
- BL BUILDING LIGHT
- CB CATCH BASIN
- CB CATCH BASIN
- RCB ROUND CATCH BASIN
- DS DOWNSPOUT
- DMH DRAIN MANHOLE
- SMH SEWER MANHOLE
- EM ELECTRIC MANHOLE
- TM TELEPHONE MANHOLE
- MH MANHOLE
- WG WATER GATE
- FH FIRE HYDRANT
- GG GAS GATE
- SS STREET SIGN
- LP LIGHT POLE
- UP UTILITY POLE
- UP UTILITY POLE W/LIGHT
- GW GUY WIRE
- BP BOLLARD/POST
- MW MONITORING WELL
- EP EDGE OF PAVEMENT
- EGR EDGE OF GRAVEL/LANDSCAPE
- BO BUILDING OVERHANG
- CU CURB
- SGR STEEL GUARD RAIL
- CLF CHAIN LINK FENCE
- SCF STOCKADE FENCE
- UDL UNDERGROUND DRAINAGE LINE
- USL UNDERGROUND SEWER LINE
- OHV OVERHEAD WIRE
- UEL UNDERGROUND ELECTRIC LINE
- UGL UNDERGROUND GAS LINE
- UWL UNDERGROUND WATER LINE
- PL PROPERTY LINE
- EL EASEMENT LINE
- SHL STATE HIGHWAY LINE
- CTL CITY/TOWN LAYOUT LINE



MERROW ROAD ROUTE #195  
(1939 HIGHWAY LAYOUT)



- Map Reference**
- MAP TITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR CAPITOL VENTURES, LLC 33 FIELDSTONE COMMONS TOLLAND, CONNECTICUT" SCALE 1"=40', DATED 9/12/06 REVISED TO 10/13/06, SHEETS 1-3.
  - MAP TITLED "COMPILATION PLAN MAP DEPICTING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF CAPITOL VENTURES, LLC & ROCKVILLE BANK CONN. ROUTE 195 TOLLAND, CONNECTICUT MAP NO. 9607CLP" SCALE 1"=100', DATED 2/23/205 REVISED TO 3/9/2005.
  - MAP TITLED "RIGHT OF WAY SURVEY TOWN OF TOLLAND MAP SHOWING EASEMENT ACQUIRED FROM CAPITOL VENTURES, LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION MERROW ROAD (CT ROUTE 195)" SCALE 1"=40', DATED FEBRUARY 15, 2005.
  - MAP TITLE "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF TOLLAND MERROW ROAD FROM TOLLAND CENTER SO. EASTERLY TO THE COVENTRY TOWN LINE NUMBER 142-05 SHEET 3 OF 8" SCALE 1"=40' DATED OCT. 31, 1939.

Map 28 Block C Lot 2.03  
33 FIELDSTONE COMMONS  
Tolland, Connecticut

No.	Revision	Date	App'd.

Designed by: JDD      Checked by: CCD  
 Issued for:      Date:      Client:      March 14, 2022

- General Notes**
- THE PROPERTY MARKERS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB ON FEBRUARY 21, 2022.
  - THE EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB ON FEBRUARY 21, 2022.
  - THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES DEPICTED ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE DEPICTED ON THIS PLAN.
  - COORDINATES, HORIZONTAL DATUM AND BEARINGS DEPICTED ON THIS SURVEY ARE REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE GRID SYSTEM - NAD 83. THE VERTICAL DATUM DEPICTED ON THIS SURVEY IS REFERENCED TO THE NAVD88. BOTH DATUMS WERE COMPUTED AND MEASURED USING AVERAGED REAL TIME NETWORK (RTN) GPS SOLUTION.

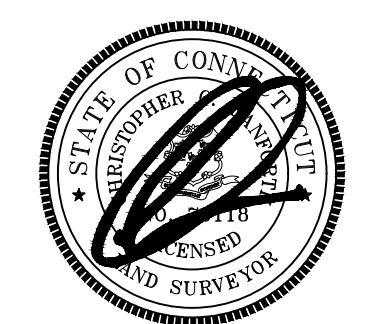
THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AMENDED OCTOBER 26, 2018.

THIS IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL CLASS A-2 ACCURACY AND A TOPOGRAPHIC SURVEY CONFORMING TO A TOPOGRAPHICAL ACCURACY STANDARD CLASS T-2. THE BOUNDARY DETERMINATION IS A DEPENDANT RESURVEY.

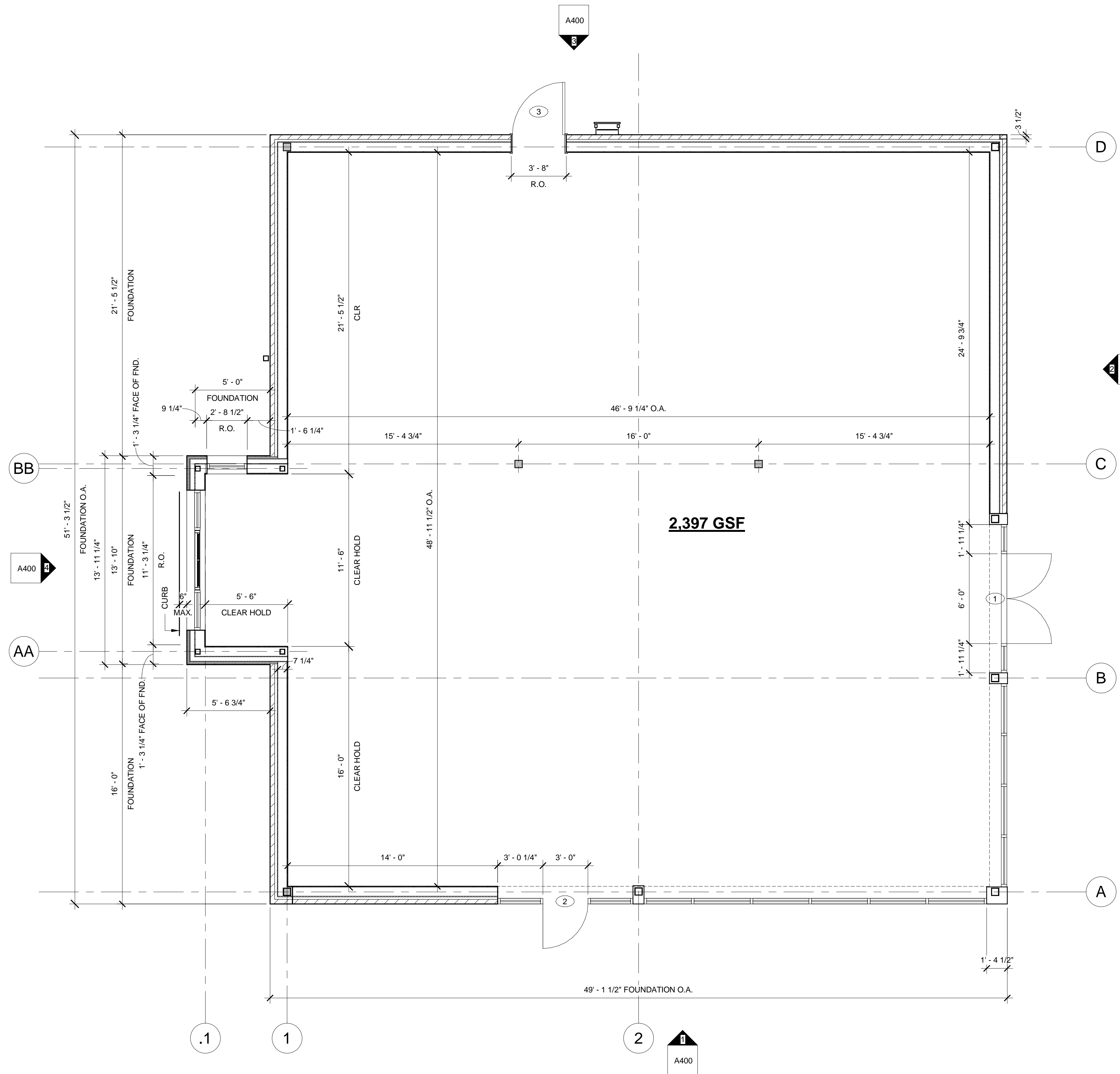
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS PLAN IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

*Christopher C. Danforth*  
 CHRISTOPHER C. DANFORTH, L.S. #70118      DATE: 3/14/2022

Drawing Title  
**Property Survey  
 & Topographic Survey**



5/19/2023 12:18:03 PM  
 B:\projects\2023\23065\_Starbucks\_Shell\_Drawing\CAD\_Base\_Plan\23065\_Starbucks\_Shell\_Tolled-CT.rvt  
 Copyright © 2017 by BKA Architects, Inc. The architectural plans, drawings, designs, specifications and other arrangements on this sheet are and shall remain the property of BKA Associates, Inc. No part thereof shall be copied, disclosed to others, or used in connection with any work or project, other than that specified for which they have been prepared and developed, without the express knowledge and written consent of BKA Architects, Inc.



- ### GENERAL NOTES
- COORDINATE THE ARCHITECTURAL DRAWINGS WITH ENGINEERED CIVIL, STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS WITH THE WORK OF ALL TRADES.
  - FINISH SLAB-ON-GRADE ELEVATION ASSUMED TO BE 0'-0". COORDINATE THE ACTUAL SITE DATUM WITH THE ENGINEERED CIVIL/SITE DRAWINGS.
  - REFER TO THE CIVIL ENGINEERING DRAWINGS FOR GRADING, UNDERGROUND AND SURFACE UTILITIES, SITE IMPROVEMENTS, RETAINING WALLS, UNDERGROUND DRAINAGE, DETENTION BASINS, EXTERIOR WALKS, PARKING, STRIPING, H.C. SIGNAGE/SYMBOLS, CURB CUTS, LIGHTING, LANDSCAPING, ETC. AIA 201 GENERAL CONDITIONS CONTRACT SHALL BE THE BASIS FOR INCLUDING BUT NOT LIMITED TO GENERAL CONDITIONS.
  - REFER TO THE ENGINEERED STRUCTURAL DRAWINGS FOR ALL NOTES, INFORMATION, AND DETAILS REGARDING FOOTINGS, FOUNDATIONS, SLABS, REINFORCEMENT, ANCHORING, BRACING, SUPERSTRUCTURE, FRAMING, CONNECTIONS, ETC.
  - ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF G.W.B. TO FACE OF G.W.B. UNLESS SPECIFICALLY NOTED OTHERWISE. **DO NOT SCALE DRAWINGS.** REFER TO ENLARGED PLANS AND DETAILS FOR FURTHER DIMENSIONING INFORMATION. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ALL DEVIATIONS AND DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK. RECORD ALL MODIFICATIONS ON THE "AS-BUILTS"- DAILY.
  - FIRE EXTINGUISHERS TO BE PROVIDED BY TENANT.
  - THE GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.
  - THE G.C. SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ETC., INCLUDING COLOR CHARTS FOR PAINTS AND STAINS FOR ALL EXTERIOR AND INTERIOR FINISHES, TO THE ARCHITECT FOR SELECTION, REVIEW AND APPROVAL PRIOR TO FABRICATION, ORDERING, OR INSTALLATION. PRIORITIES ANY LONG-LEAD ITEMS.
  - THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING MOUNTED EQUIPMENT, DEVICES AND FIXTURES.
  - PERFORM ALL WORK IN ACCORDANCE WITH THE CURRENT MASSACHUSETTS BUILDING CODE & MAAB, AND ADAAG, AS WELL AS ALL LOCAL CODES AND ORDINANCES.
  - THE G.C. AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES AS REQUIRED BY THE A.H.J.
  - THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS OFF SITE.
  - THE G.C. SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK (O.A.E.) AND SEALANT ON USG SAFING; 2500 PSI GROUT AT CMU WALLS.
  - INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALUMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.
  - COORDINATE SOLID F.R.T.W. BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES. ADDITIONALLY, F.R.T.W. SHALL BE USED WHEREVER WOOD IS USED, UNLESS OTHERWISE ALLOWED BY MA BUILDING CODE OR OTHER APPLICABLE CODES.
  - PROVIDE CONTINUOUS GALVANIZED METAL EDGE TRIM AT ALL GWB WORK.
  - THE G.C. SHALL INSTALL ALL INTERIOR FINISHES AT ALL SURFACES INDICATED ON THE DRAWINGS IN CONFORMANCE TO NYS BUILDING CODE. ALL DOORS SHALL HAVE LEVER HARDWARE TO CONFORM TO MAAB AND ADAAG.
  - INSTALL USG .093 (OR APPROVED EQUAL) CONTROL JOINTS @ 30'-0" O.C. MAX. OR AS PER MANUFACTURER'S SUGGESTED DETAILS AND SPECIFICATIONS.
  - FILL ALL VOIDS AT EXTERIOR WALL NOT VENTED TO THE EXTERIOR W/ ZERO-DRAFT FOAM INSULATION
  - G.C. SHALL PROVIDE WATER METER, COORD. SIZE, TYPE & LOCATION W/THE TOWN WATER DEPT.

### LEGEND

	Name EL=Elevation:	ELEVATION
	1 A101	SECTION
	1 A101	DETAIL
	1 A 100	EXTERIOR ELEVATION
	1B 1A101 1A 1D	STOREFRONT ELEVATION
	Room name 101	ROOM NUMBER
	101	DOOR NUMBER
	1	WINDOW TYPE
	1	REVISION NUMBER AND REVISION CLOUD

1 FLOOR PLAN  
1/4" = 1'-0"

ARCHITECT  
**BKA** ARCHITECTS  
 Boston + Brockton  
 142 Crescent Street  
 Brockton, MA 02302  
 508.583.5703  
 bkaarchitects.com

CONSULTANT

SEAL

ISSUES & REVISIONS  
 04/24/2023 - FOR CLIENT REVIEW  
 05/22/2023 - SITE PLAN REVIEW

OWNER/CLIENT

PROJECT  
**STARBUCKS SHELL**

33 FIELDSTONE COMMONS  
 TOLLAND, CONNECTICUT

DRAWING TITLE  
**FLOOR PLAN**

DRAWING INFORMATION  
 Job Number: 223065  
 Checked By: KTB  
 Drawn By: LMH  
 DRAWING NUMBER

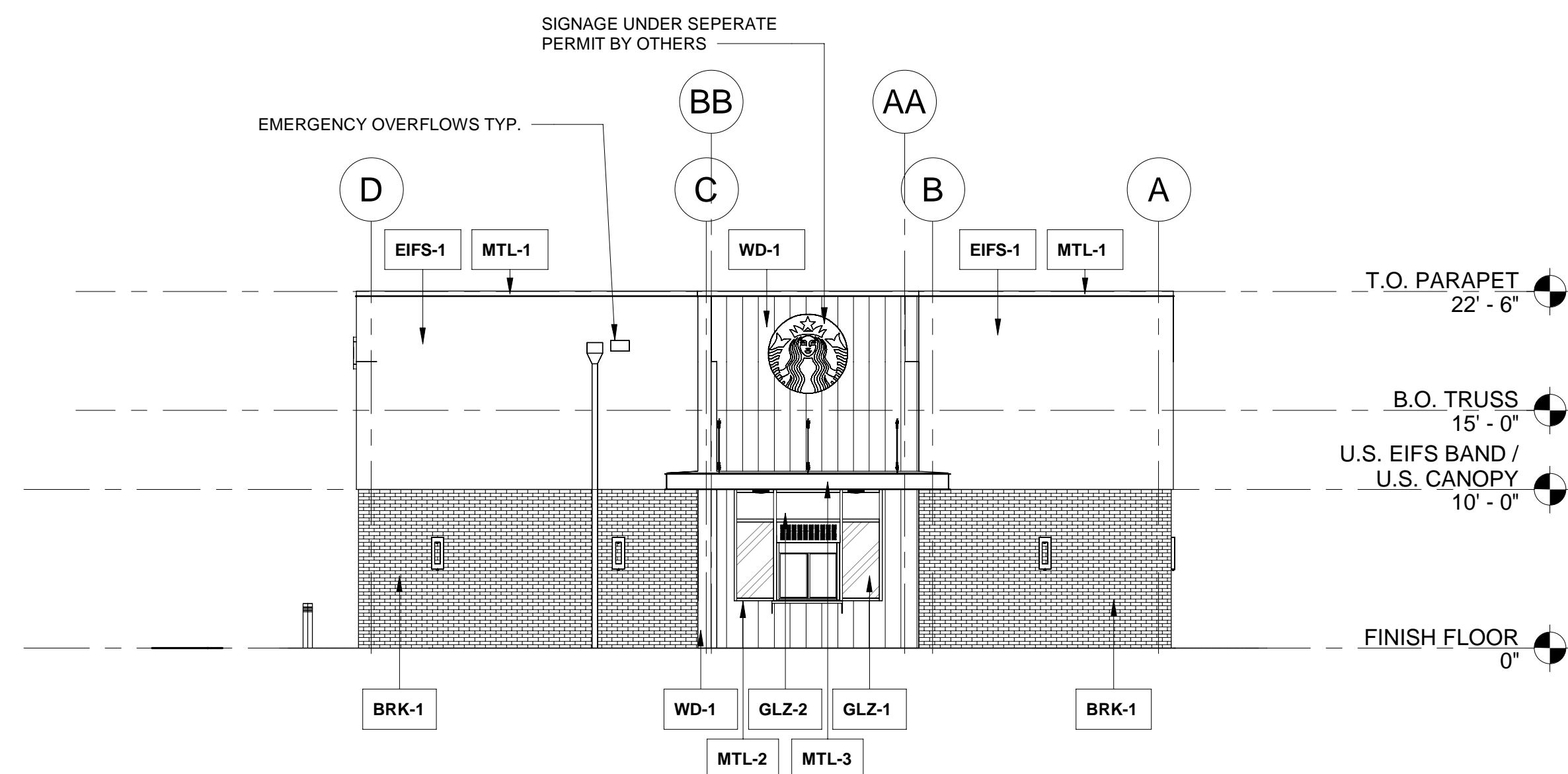
\*Project Status 5/22/23 SITE PLAN REVIEW\*

# A101

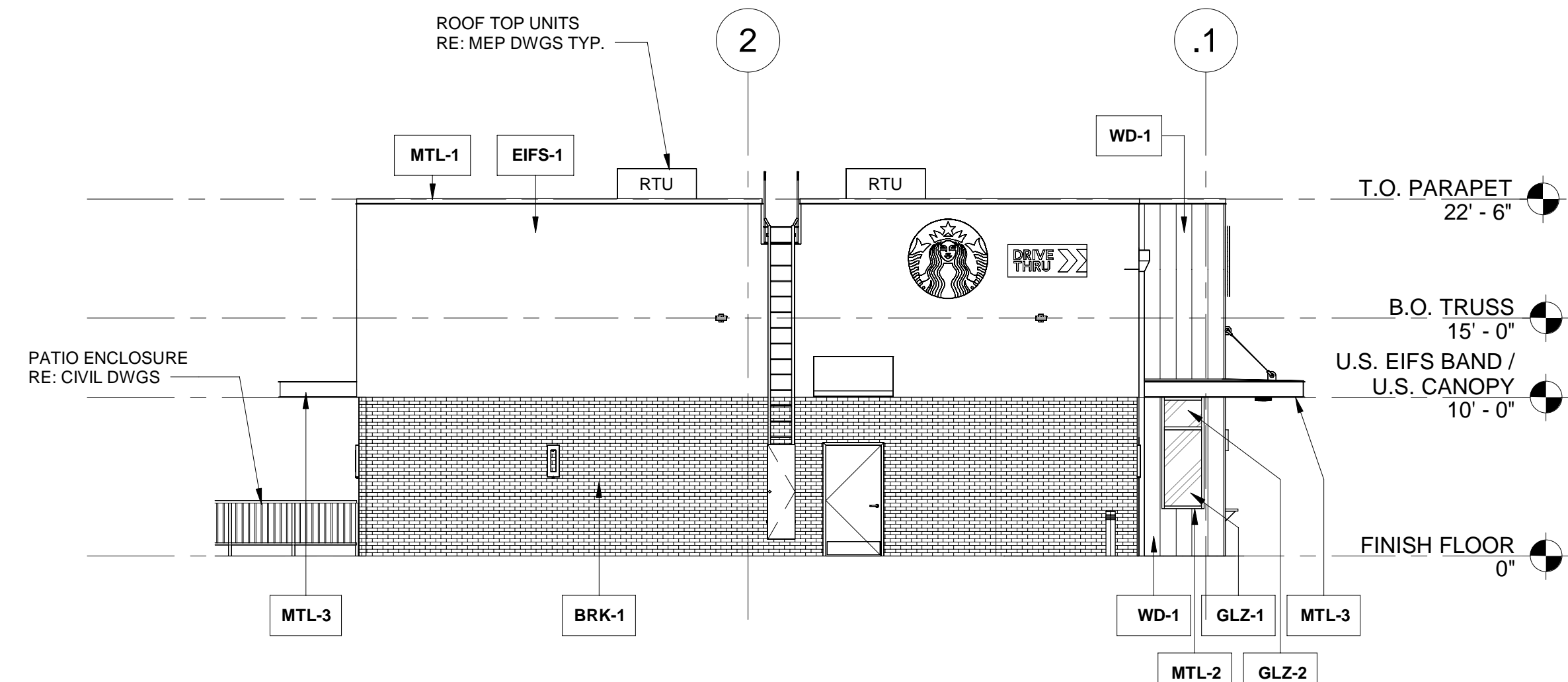
### EXTERIOR ELEVATION NOTES

- A. SIGNAGE UNDER SEPERATE PERMIT
- B. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- C. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- D. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
- E. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO STARBUCKS DESIGNER FOR APPROVAL.
- F. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT
- G. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- H. ALL EXTERIOR UTILITY METER PANELS SHALL BE PAINTED TO MATCH ADJACENT SURFACES.
- I. GENERAL CONTRACTOR TO FINISH SAMPLES TO OWNER AND ARCHITECT FOR FINAL APPROVAL PRIOR TO INSTALLATION.

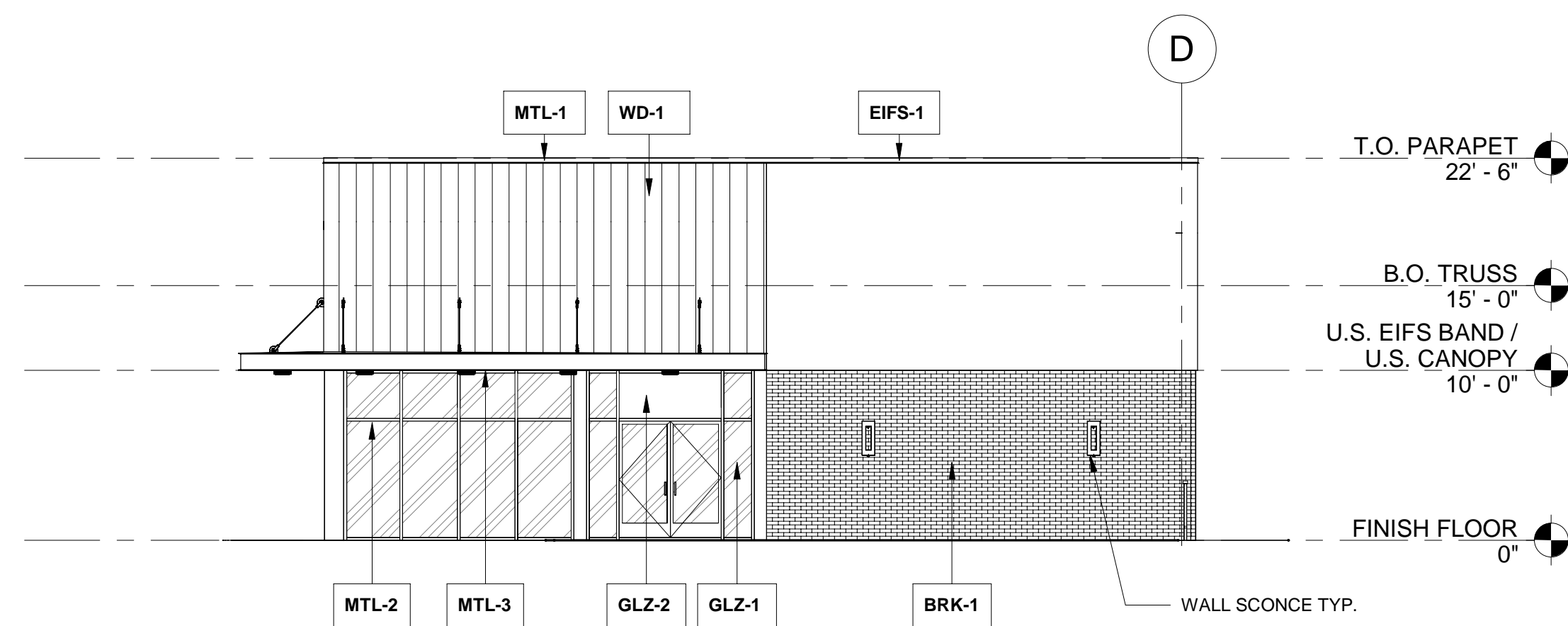
EXTERIOR FINISH SCHEDULE				
NO.	MATERIAL	MFG/FINISH/STYLE	COLOR	COMMENTS
BRK-1	FULL BRICK VENEER	MORA CERAMICA MODULAR 3-5/8" x 2-1/4" x 7-5/8"	SILVER GRAY SMOOTH WITH MATCHING MORTAR	
EFIS-1	EFIS	DRYVIT SANDPEBBLE FINE TEXTURE W/ STRATOTONE COLORANT	STAR-05 1022 ST	
GLZ-1	GLAZING	SOLAR BAN 60 CLEAR	CLEAR	REFER TO SHEET A700 FOR TEMPERED GLASS LOCATIONS
GLZ-2	GLAZING	SPANDREL		
MTL-1	METAL COPING	PRE-FINISHED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-2	ALUMINUM STOREFRONT SYSTEM	ANODIZED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-3	BRAKE METAL	POWDERCOAT	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-4	HOLLOW METAL DOOR & FRAME	SHERWIN WILLIAMS PAINTED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-5	METAL AWNING	POWDERCOAT	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
WD-1	WOOD SIDING	RESAWN TIMBER CO. SEALED FACE AND BACK 3/4" THICK X 5-3/8" WIDE X 8' X 16' RANDOM LENGTHS	UNAGI- SHOU SUGI BAN W/ DADOS PROFILE	VERTICAL ORIENTATION
WD-4	ACCOYA WOOD SIDING @ UNDERSIDE OF CANOPY	TONGUE AND GROOVE PLANK SEALED FACE AND BACK 3/4" THICK X 5-3/8" WIDE X 8'-16' RANDOM LENGTHS	GOBI	



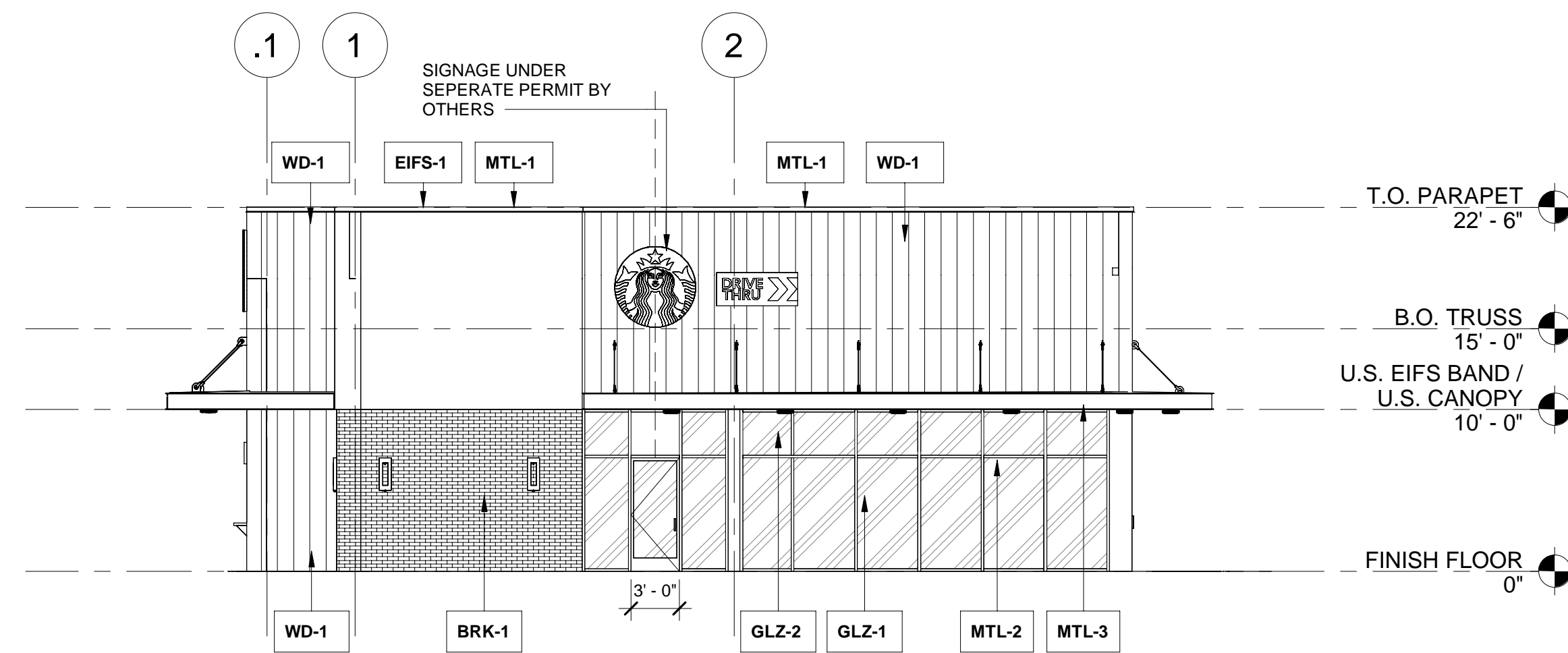
**4 WEST ELEVATION**  
Scale 1/8" = 1'-0"



**3 NORTH ELEVATION**  
Scale 1/8" = 1'-0"



**2 EAST ELEVATION**  
Scale 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
Scale 1/8" = 1'-0"

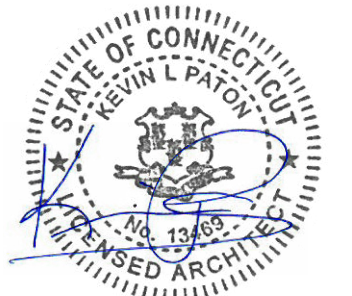
ARCHITECT

**BKA** ARCHITECTS

9/27/22 Boston + Brockton  
142 Crescent Street  
Brockton, MA 02302  
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bkaarchitects.com

CONSULTANT

SEAL



ISSUES & REVISIONS

- 04/24/2023 - FOR CLIENT REVIEW
- 05/22/2023 - SITE PLAN REVIEW

OWNER/CLIENT

PROJECT  
**STARBUCKS SHELL**

33 FIELDSTONE COMMONS  
TOLLAND, CONNECTICUT

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DRAWING INFORMATION  
Job Number: 223065  
Checked By: KTB  
Drawn By: LMH

DRAWING NUMBER

**A400**

\*Project Status 5/22/23 SITE PLAN REVIEW\*



## **Article 10: Gateway Design District (GDD)**

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### **Section 10-1. Purpose**

The purpose of the Gateway Design District is to:

- A. Create an attractive entrance to Tolland while encouraging coordinated commercial, office, mixed-use and multi-family developments with high design standards at the interstate gateway entrances to the community;
- B. Promote compact commercial development having scale and form consistent with the natural landforms of the site and the character of the town; and
- C. Promote greater diversity in housing options by encouraging multi-family housing in appropriate locations served by public water and sewer and in walkable distance to commercial centers.

### **Section 10-2. General Concepts/Design Guidelines**

These standards and guidelines require a basic level of architectural variety, compatible scale, and mitigation of negative impacts. They are not intended to limit creativity. The purpose of these standards and guidelines is to augment existing criteria with more specific interpretations that apply to the design of GDD developments. This district is intended to encourage smaller sites to combine with other sites in order to provide larger-scale sites and developments.

#### **A. Siting**

- 1. Depending on the overall site design, and where otherwise practicable, buildings should be sited toward the front of the lot and should maintain a pleasing spatial relationship with other buildings and public and interior-access roadways.
- 2. Structures should be sited in small groups wherever feasible.
- 3. The use of additive massing (the bulk of the building is broken into smaller sections and horizontally offset) to provide visual interest is desired.
- 4. All effort should be made to preserve and enhance historic structures, unique landforms, rock outcrops, stone walls, vegetation, views, etc. and incorporate them into site design.
- 5. Siting should not be detrimental to scenic vistas of the gateway from any public street including I-84. Items of special concern include the placement of dumpsters, loading docks, roof-mounted mechanical units, and antennas.
- 6. The design of the storm water treatment system shall contain strategies associated with low impact development to the maximum extent possible (MEP) as outlined in the Town

of Tolland Design Manual. This provision shall also apply to improvements or redevelopment of existing commercial sites. If stormwater detention/retention basins are necessary, provisions shall be made for shared structures and shared maintenance to the maximum extent feasible.

**B. Access**

1. Access management will be required on all sites, in order to reduce the number of driveway cuts onto adjacent roads and mitigate the deterioration of traffic flow generally caused by driveways on public roads. Access management techniques include shared driveways (or provisions for future shared driveways for the first site in the area) or interconnected driveways.
2. Use shared parking with abutting properties wherever feasible.
3. Provide safe, convenient pedestrian circulation, which also provides access to off-site sidewalks, trails, parks and other public places.
4. Locate large parking areas at the side or rear of building where practical with landscaping designed to create visual assets.

**C. Site Amenities**

1. Create pedestrian spaces such as plazas, "greens", commons and terraces within the development.
2. Add or create amenities such as benches, fountains, sculptures, art, bike racks, sitting walls, planters, period-style lighting or banners.
3. Use creative landscaping design, with plantings of sufficient size and quantity to clearly enhance the site.

**D. Architectural Guidelines**

The purpose of architectural design review is to provide insights regarding Tolland's design objectives, to encourage aesthetically pleasing commercial structures, to reduce massive scale and uniform impersonal appearance, to provide visual interest and scale consistent with the Town's identity, size and character. All applications for Special Permit shall require design review with consideration given to the following guidelines:

1. Facades.
  - a. No uninterrupted length of any facade shall exceed 100 feet and shall incorporate wall plane projections or recesses.

- b. The ground floor facade facing a public street should incorporate display windows, awnings or other such features to create visual interest.
  - c. Windows should be recessed and should include visually prominent sills, shutters or other such forms of framing.
  - d. All building facades that are visible from a public street, including I-84 and its ramps, should be attractively designed with windows and other architectural elements so that no visible elevations looks like the back of a building.
2. Roofs.
    - a. Variations in roof lines should be used to add interest and complement the character of the Town.
    - b. Rooftop equipment such as HVAC units shall be screened from public view with parapets featuring three dimensional cornice treatments.
3. Materials, colors and detail features.
    - a. Building facades should include a repeating pattern including color, texture or change of materials.
    - b. Predominant exterior building materials should be high quality materials such as brick, wood, sandstone and other native stone or tinted textured, concrete masonry units.
    - c. Facade colors should be low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors, metallic colors, black or fluorescent colors is discouraged.
    - d. Predominant exterior building materials should not include smooth-faced concrete block or pre-fabricated steel panels.

### **Section 10-3. Uses**

#### **A. Permitted Uses**

The followings principal uses are permitted, if legally existing on or before August 1, 2000:

1. Single-family dwelling.
2. Motor vehicle sales.
3. Motor vehicle repair.
4. Accessory uses subject to the provisions of Article 17.

# Design Advisory Board

## Meeting Minutes

21 Tolland Green, Level 2, Conference Room B, Tolland, Connecticut

Thursday, March 3, 2022

**Members Present:** Sudhakar Nagardeolekar (Chair), Vikas Nagardeolekar (Vice Chair), Bill Byers, Kimberly Rogers

**Others Present:** David Corcoran (Director of Planning & Development), Kevin Santini, Eric Santini, Eric Peterson

S. Nargardeolekar called the meeting to order at 7:03 PM

### **10 Fieldstone Commons – Applicant: Fieldstone Ridge, LLC – Review of Landscaping and Building Design.**

The 10 Fieldstone Commons application was discussed. The applicant Fieldstone Ridge, LLC for the 10 Fieldstone project made a detailed presentation. The Drawings presented for review at this meeting met the criteria set by the Design Advisory Board. The Design Advisory Board noted they received a meeting notice on February 24, 2022, for a meeting to be held on March 3, 2022. This time line did not allow DAB Members to review the drawing in detail for their comments. In general, the project design as presented to DAB, is satisfactory. DAB needs to review in detail following items:

- 1) Detail review of proposed landscaping.
- 2) Review of proposed Building material samples and color co-ordination.

The Design Advisory Board is also concerned about the secondary means of egress from the project site, for providing proper turning radius for firefighting equipment

### **DAB Member Re-Appointment –**

Everybody is interested in being appointed. Discussed open position and trying to fill the empty slot. D. Corcoran will work with Town to send an e-mail blast for the position. They are looking for somebody with landscape/design experience and plant knowledge.

### **Approve Minutes – August 5, 2021 Regular Meeting**

V. Nagardeolekar moved and K. Rogers seconded to approve the minutes.

The meeting was adjourned at 8:15 PM.

Respectfully Submitted,

David Corcoran, Director of Planning and Development