### **Agenda**

# **Tolland Design Advisory Board**

### 21 Tolland Green, Tolland, Connecticut

Thursday, June 1, 2023 at 7:00 p.m., 2nd floor, Conference Room B

- 1. Call to Order
- 2. New Business
  - 2.1. 33 Fieldstone Commons Proposed 2,400 sq. ft. restaurant with a drive-through. Applicant: Prospect Enterprises, LLC
- 3. Old Business
- 4. Approve Minutes August 4, 2022 Regular Meeting
- 5. Other Business
- 6. Adjournment



May 22, 2023

Ref: 42896.00

David Corcoran, AICP Director of Planning and Development Town of Tolland 21 Tolland Green Tolland, CT 06084

Re: Proposed Starbucks - Fieldstone Commons - Design Advisory Board Submission

Mr. Corcoran,

VHB, on behalf of our Client, Prospect Enterprises, LLC, is pleased to submit the following information and request to be placed on the Design Advisory Board's agenda for June 1, 2023:

- Five (5) copies of a planset prepared by VHB titled, "Proposed Starbucks" dated May 22, 2023. Please note that selected sheets such as the utility plan, site details and the erosion control plan have been excluded from this set
- Five (5) copies of the following architectural plans by BKA Architects dated May 22, 2023:
  - o A101 Floor Plan
  - A400 Exterior Elevations
  - E-01 Exterior Elevations dated May 19, 2023

Please let us know if you require additional information in order to be placed on the June 1st agenda or if you have any questions.

Sincerely,

Vanasse Hangen Brustlin, Inc.

Paul Vitaliano, P.E.

CT Director of Land Development pvitaliano@vhb.com

# Site Plans

Issued for Local Approvals

Date Issued May 22, 2023

Latest Issue May 22, 2023

# Proposed Starbucks

33 Fieldstone Commons Tolland, Connecticut

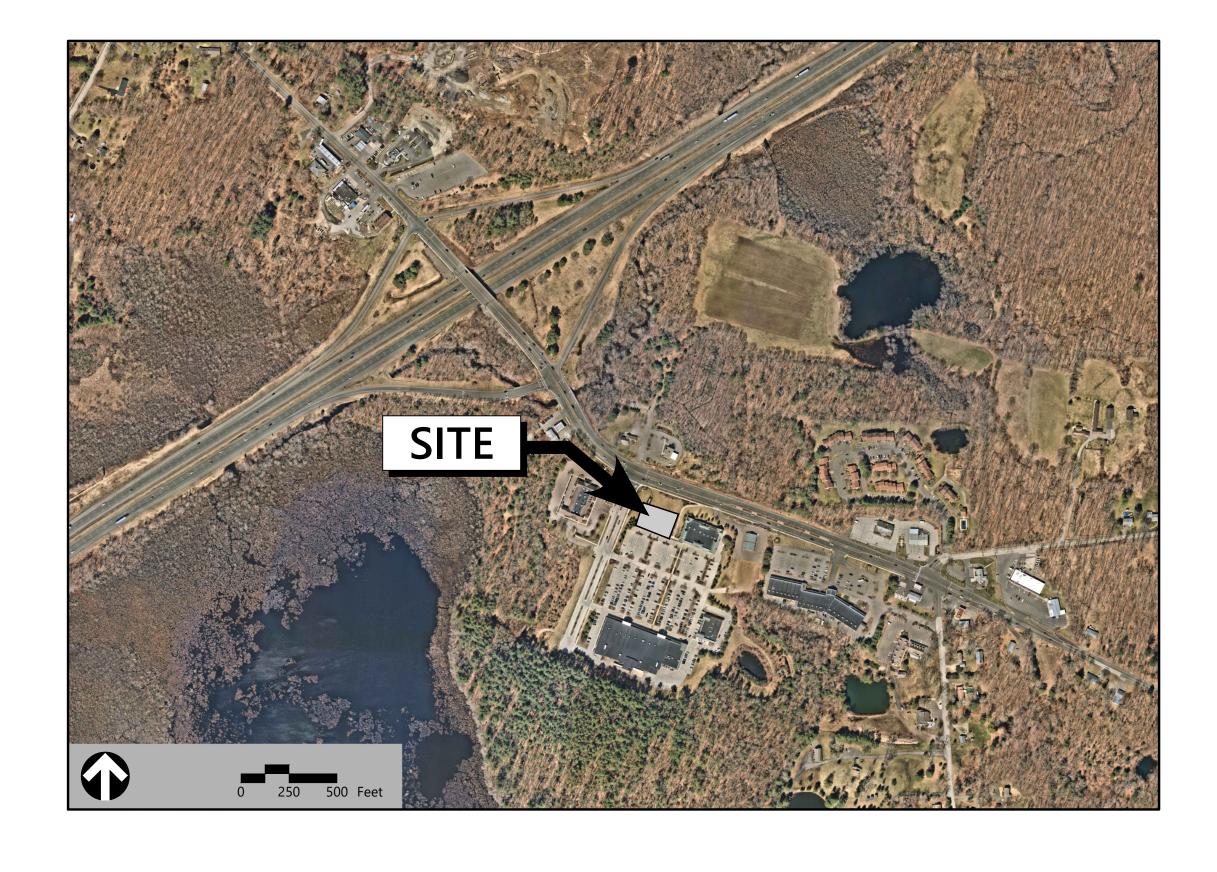
# Owner

Capitol Ventures LLC 231 Farmington Ave Farmington, CT 06032

# **Applicant**

Prospect Enterprises, LLC 231 Farmington Ave Farmington, CT 06032

Assessor's Map: 28 Lot: C2.03



	Re
Latest Issue	No.
May 22, 2023	Sv-1
May 22, 2023	

May 22, 2023

**Sheet Index** 

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**Drawing Title** 

Overall Plan

**Utility Plan** 

Site Details 1

Site Details 2

Planting Plan

Planting Details

Legend and General Notes

Layout and Materials Plan

Grading and Drainage Plan

**Erosion and Sediment Control Plan** 

Reference Drawings			
No.	Drawing Title	Latest Issue	
Sv-1	Property Survey & Topographic Survey	March 14, 2022	





Exist.	Prop.		Exist.	Prop.	
		DDODEDTYLING			CONCRETE
		PROPERTY LINE	[4,5, 41,5,45,55]	[4,5 M.4855.55]	HEAVY DUTY PAVEMENT
		PROJECT LIMIT LINE			
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK		7/7// 2/2/2/2	CONSTRUCTION EXIT
		PARKING SETBACK			
10+00	10+00	BASELINE	27.35 TC×	27.35 TC ×	TOP OF CURB ELEVATION
			26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
		CONSTRUCTION LAYOUT	132.75 ×	132.75 ×	SPOT ELEVATION
		ZONING LINE	45.0 TW 38.5 BW	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
		TOWN LINE	30.3 BW		BORING LOCATION
		LIMIT OF DISTURDANCE			
	_	LIMIT OF DISTURBANCE		M/M/	TEST PIT LOCATION
<u>&amp;</u>		WETLAND LINE WITH FLAG	<b>○</b> <sup>MW</sup>	<b>→</b> IVI W	MONITORING WELL
		FLOODPLAIN	UD	——UD-——-	LINDERDRAIN
BLSF		BORDERING LAND SUBJECT	12"D	12″D—►	UNDERDRAIN
		TO FLOODING			DRAIN
———ВZ—		WETLAND BUFFER ZONE	6"RD	6″RD→	ROOF DRAIN
NDZ		NO DISTURB ZONE	1 <u>2"</u> S	1 <u>2"</u> S	SEWER
200'RA-		200' RIVERFRONT AREA	FM	<u>FM</u>	FORCE MAIN
		200 RIVERFROINT AREA	- OHW	—— OHW ——	OVERHEAD WIRE
		GRAVEL ROAD	6"W	6"W	WATER
EOP	EOP	EDGE OF PAVEMENT			
BB	BB		4"FP	——4 <b>"</b> FP——	FIRE PROTECTION
		BITUMINOUS BERM		2"DW	DOMESTIC WATER
BC	BC	BITUMINOUS CURB	3"G	———G———	GAS
CC	CC	CONCRETE CURB	——Е——	——Е——	ELECTRIC
	CG	CURB AND GUTTER	STM	——STM——	STEAM
CC	ECC	EXTRUDED CONCRETE CURB	T	—т	TELEPHONE
CC	MCC	MONOLITHIC CONCRETE CURB		FA	
CC	PCC		——FA——	——FA——	FIRE ALARM
	<del></del>	PRECAST CONC. CURB	—— CATV——	—— CATV——	CABLE TV
<u>SGE</u>	SGE	SLOPED GRAN. EDGING			CATCH BASIN CONCENTRIC
VGC	VGC	VERT. GRAN. CURB			
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
	•		_		DOUBLE CATCH BASIN ECCENTRIC
(1/1/1/1		DI III DINIC	BBB	<b>===</b>	GUTTER INLET
74	_	BUILDING	<b>(</b>	ledo	DRAIN MANHOLE CONCENTRIC
	<b>]</b> ⊲EN	BUILDING ENTRANCE	(D)	$\odot$	DRAIN MANHOLE ECCENTRIC
](		LOADING DOCK		· ·	
•	•	BOLLARD	=TD=		TRENCH DRAIN
D	D	DUMPSTER PAD	I CO	E CO	PLUG OR CAP
-	<u> </u>	SIGN	CO	eco •	CLEANOUT
	_	DOUBLE SIGN	<b>&gt;</b>	<b>&gt;</b>	FLARED END SECTION
<del></del>	<b>=</b>	DOUBLE SIGN		$\checkmark$	HEADWALL
		CTEEL CHARDRAIL	-		
		STEEL GUARDRAIL	(\$)	lefton	SEWER MANHOLE CONCENTRIC
		WOOD GUARDRAIL	(\$)		SEWER MANHOLE ECCENTRIC
				CS	
		PATH			CURB STOP & BOX
~~~	$\sim$	TREE LINE	₩V	₩V •	WATER VALVE & BOX
<del>-x</del>	<del>-xx</del>	WIRE FENCE	TSV	TSV	TAPPING SLEEVE, VALVE & BOX
-0	•	FENCE	4-9	<b>\</b>	FIRE DEPARTMENT CONNECTION
	<u> </u>		HYD	HYD <b>©</b> •	FIRE HYDRANT
		STOCKADE FENCE	WM	WM ⊡	
000000	$\infty$	STONE WALL	PIV	PIV	WATER METER
		RETAINING WALL	•	_	POST INDICATOR VALVE
	<del></del>	STREAM / POND / WATER COURSE	<b>(W)</b>	<b>(W)</b>	WATER WELL
	··_	DETENTION BASIN	GG ©	GG <b>O</b>	GAS GATE
0 00 00 00 00 00 0		HAY BALES	GM	GM	GAS METER
×	——×——	SILT FENCE	•	<u>.                                    </u>	ONO METER
, ,			E	● <sup>EMH</sup>	ELECTRIC MANHOLE
· <:::::> ·	· CIIIII> ·	SILT SOCK / STRAW WATTLE	EM •	EM ⊡	ELECTRIC METER
4	—— 4 ——	MINOR CONTOUR	ф	_ _	
— —20— —	20	MAJOR CONTOUR	Ψ.	<b>*</b>	LIGHT POLE
	<u> </u>	INDUN CONTOUR	(1)	● <sup>TMH</sup>	TELEPHONE MANHOLE
(10)	10	PARKING COUNT	Т	T	TRANSFORMER PAD
	C10	COMPACT PARKING STALLS		_	
DYL_	DYL		-0-	•	UTILITY POLE
		DOUBLE YELLOW LINE	0-	•-	GUY POLE
SL	SL	STOP LINE	Ţ	Ţ	GUY WIRE & ANCHOR
		CROSSWALK	HH	НН	
1111111111		ACCESSIBLE CURB RAMP	⊡ PB	⊡ _PB	HAND HOLE
2.	4 <u>1</u> 1	ACCESSIBLE PARKING	•	<u>.                                    </u>	PULL BOX

ACCESSIBLE PARKING

VAN-ACCESSIBLE PARKINO

### **Abbreviations**

Abbı	revia	tions
Ge	eneral	
AB	AN	ABANDON
AC	:R	ACCESSIBLE CURB RAMP
AD	)J	ADJUST
AP	PROX	APPROXIMATE
BIT	-	BITUMINOUS
BS		BOTTOM OF SLOPE
BW	/LL	BROKEN WHITE LANE LINE
CO	NC	CONCRETE
DY	CL	DOUBLE YELLOW CENTER LINE
EL		ELEVATION
ELE	٧	ELEVATION
EX		EXISTING
FD	N	FOUNDATION
FFE	Ē	FIRST FLOOR ELEVATION
GR	AN	GRANITE
GT	D	GRADE TO DRAIN
LA		LANDSCAPE AREA
LO	D	LIMIT OF DISTURBANCE
MA	λX	MAXIMUM
MII		MINIMUM
NIC		NOT IN CONTRACT
NT		NOT TO SCALE
PE		PERFORATED
		PROPOSED
REI		REMOVE
RE <sup>-</sup>		RETAIN
R&		REMOVE AND DISPOSE
R&		REMOVE AND RESET
		SOLID WHITE LANE LINE
TS		SOLID WHITE LANE LINE  TOP OF SLOPE
TYI		TYPICAL
		TIFICAL
Ut	tility	
СВ		CATCH BASIN
CM	1P	CORRUGATED METAL PIPE
CO		CLEANOUT
DC		DOUBLE CATCH BASIN
DM		DRAIN MANHOLE
CIF		CAST IRON PIPE
		CONDUIT  DUCTILE IRON PIPE
DIF FES		FLARED END SECTION
FM		FORCE MAIN
F&		FRAME AND GRATE
F&		FRAME AND COVER
GI		GUTTER INLET
GT		GREASE TRAP
HD	)PE	HIGH DENSITY POLYETHYLENE PIPE
НН	ł	HANDHOLE
HV	V	HEADWALL
HY	D	HYDRANT
INV	<b>V</b>	INVERT ELEVATION
I=		INVERT ELEVATION
LP		LIGHT POLE
ME	ES .	METAL END SECTION
PIV	/	POST INDICATOR VALVE
PW	/W	PAVED WATER WAY
PV	С	POLYVINYLCHLORIDE PIPE
RC	Р	REINFORCED CONCRETE PIPE
R=		RIM ELEVATION
RIN	<b>Λ</b> =	RIM ELEVATION
SM	1H	SEWER MANHOLE
TS	V	TAPPING SLEEVE, VALVE AND BOX
UG	i	UNDERGROUND
UP		UTILITY POLE

### Notes

#### General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-800-922-4455) AT LEAST 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 4 INCHES LOAM AND SEED.
- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
- . WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS.
  WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE
- HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

  7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT

DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT

- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 14. THIS PROJECT DOES NOT DISTURB MORE THAN FIVE ACRES OF LAND AND THEREFORE DOES NOT FALL WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM OR CONNECTICUT DEEP JURISDICTION. SOIL EROSION AND SEDIMENT CONTROL PLAN TO BE APPROVED LOCALLY.

#### Utilities

- I. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
  - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
  - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
  - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.

5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY

SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY,

- THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.

  6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE
- 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
  - A. WATER PIPES SHALL BE TYPE K COPPER.
- B. SANITARY SEWER PIPES SHALL BE SDR-35 POLYVINYL CHLORIDE (PVC) SEWER PIPE
- C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) UNLESS STATED OTHERWISE ON THE SITE PLANS. BUILDING ROOF DRAINS SHALL BE PVC AS REQUIRED BY BUILDING CODE.
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

#### Layout and Materials

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE EXTRUDED CONCRETE CURB (ECC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

#### Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- 2. ALL EXISTING UTILITIES SHALL REMAIN, UNLESS OTHERWISE NOTED. UTILITIES CALLED OUT TO BE REMOVED SHALL BE REMOVED IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

### **Erosion Control**

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO REFLICION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

# **Existing Conditions Information**

- 1. THE BASE CONDITIONS SHOWN ARE FROM THE 'PROPERTY SURVEY & TOPOGRAPHIC SURVEY' BY VHB DATED MARCH 14, 2022.
- 2. OVERALL SITE CONDITIONS OF THE PLAZA ARE BASED ON THE INITIAL PROPOSED SITE PLANS FOR THE BIG Y DEVELOPMENT AND ARE FOR REFERENCE ONLY.

# Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



Wethersfield, CT 06109

860.807.4300

**Proposed Starbucks** 

33 Fieldstone Commons Tolland, Connecticut

No.	Revision	Date	Appv

Designed by	Checked by
KE	PV
Issued for	Date
Local Approvals	May 22, 202

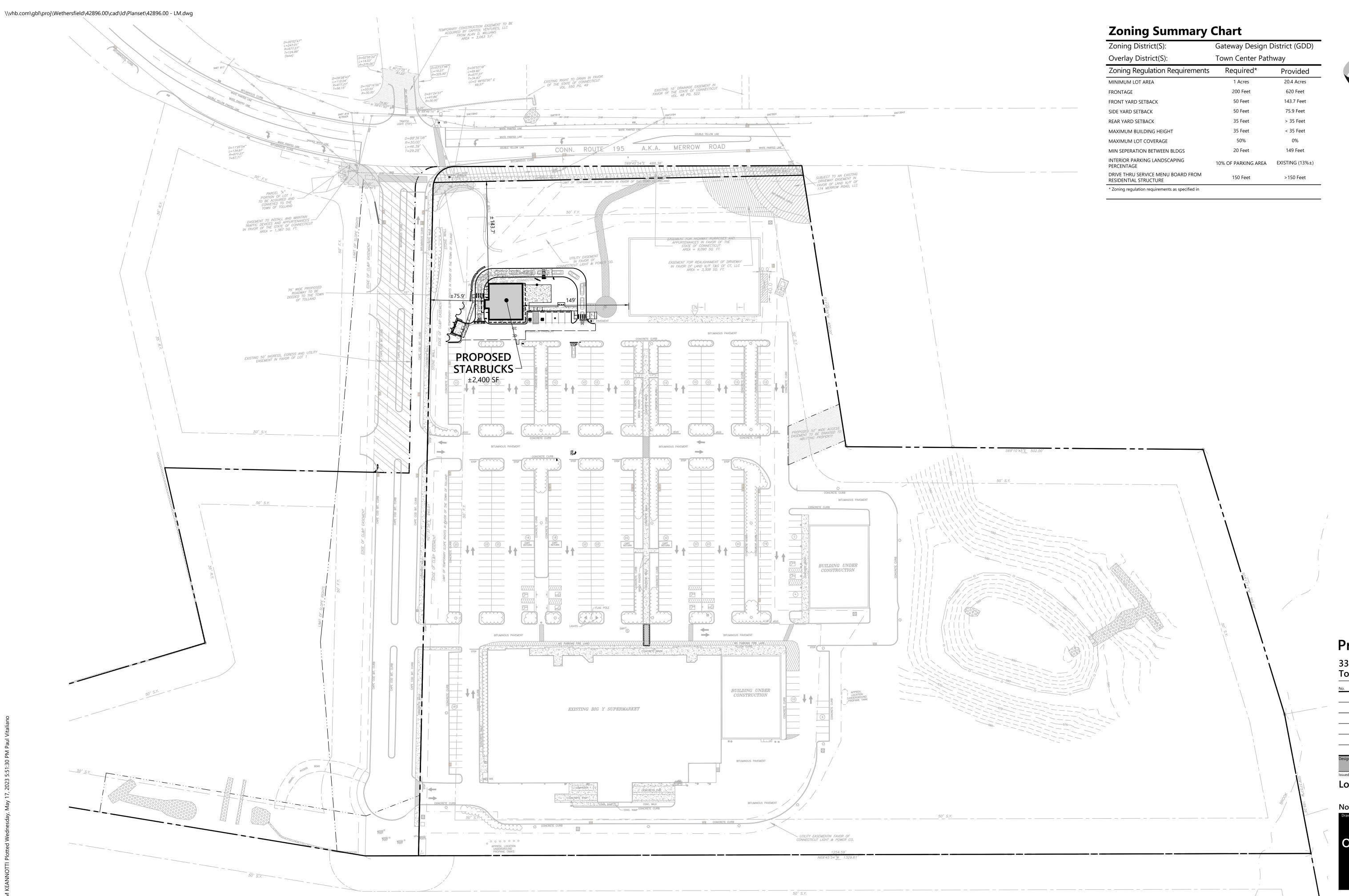
Not Approved for Construction







Project Number





100 Great Meadow Road Suite 200 Wethersfield, CT 06109 860.807.4300



# **Proposed Starbucks**

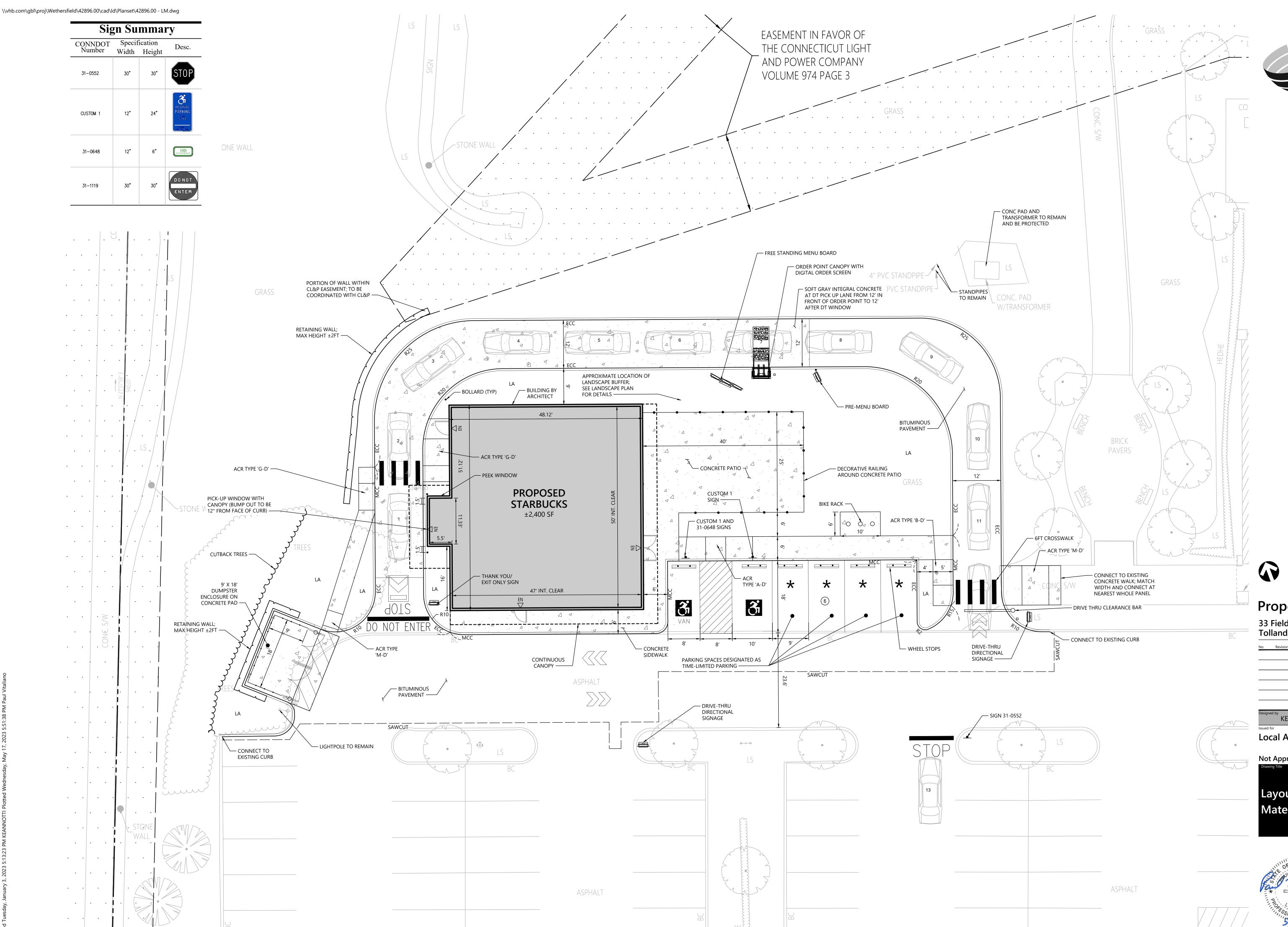
33 Fieldstone Commons Tolland, Connecticut

Designed by KE	Checked by PV		
Issued for	Date		
Local Approvals	May 22, 2023		

Not Approved for Construction

**Overall Site Plan** 







Suite 200

860.807.4300

Wethersfield, CT 06109



# **Proposed Starbucks**

33 Fieldstone Commons Tolland, Connecticut

KE	PV	
Issued for	Date	
Local Approvals	May 22, 202	

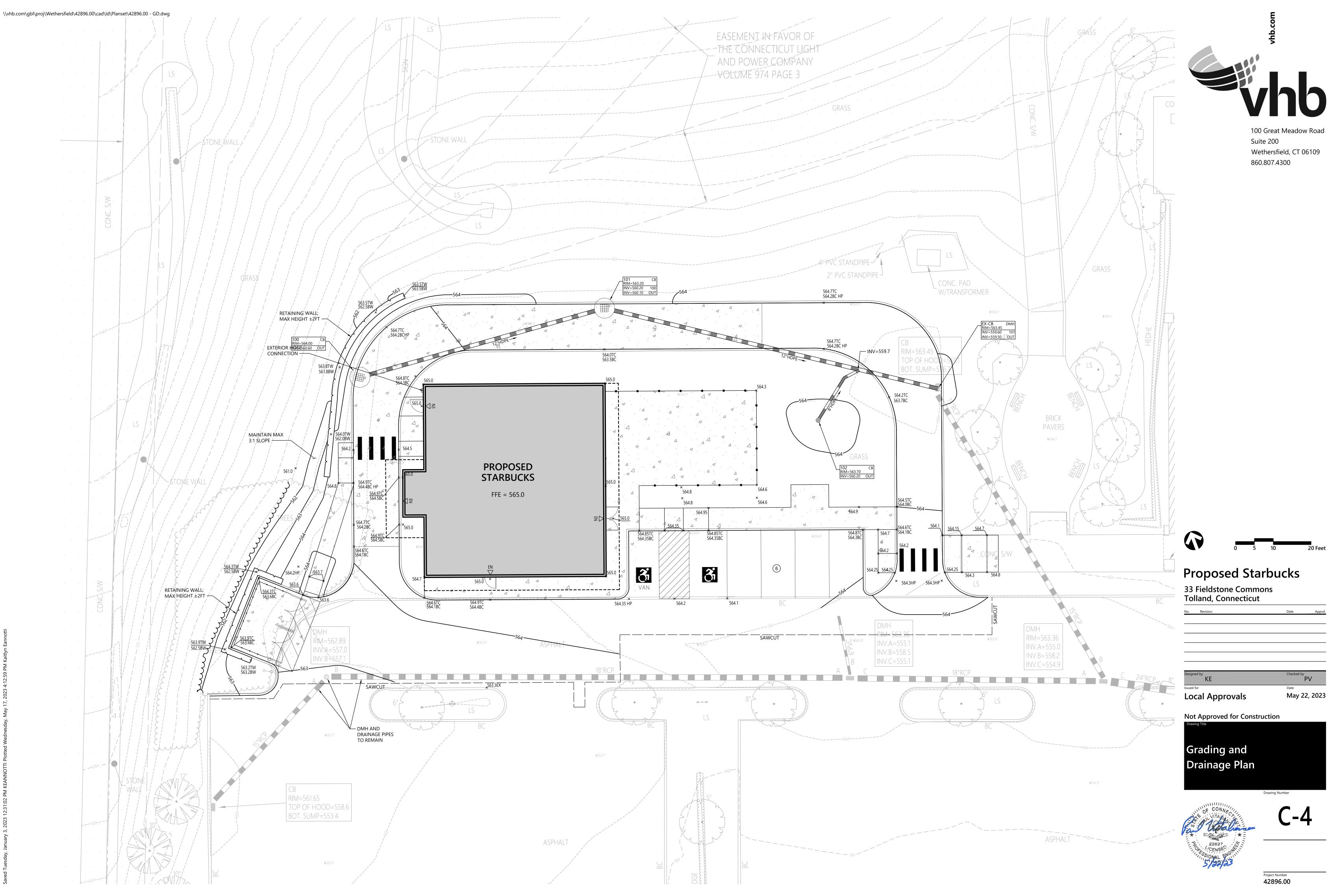
Not Approved for Construction

Layout and Materials Plan



**C-3** 

Project Number 42896.00







Date May 22, 2023

Project Number 42896.00

### **Tree Protection**

- 1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- 2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

#### Planting Notes

- 1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- 3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- 4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.

- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- 8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- 9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- 11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- 12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

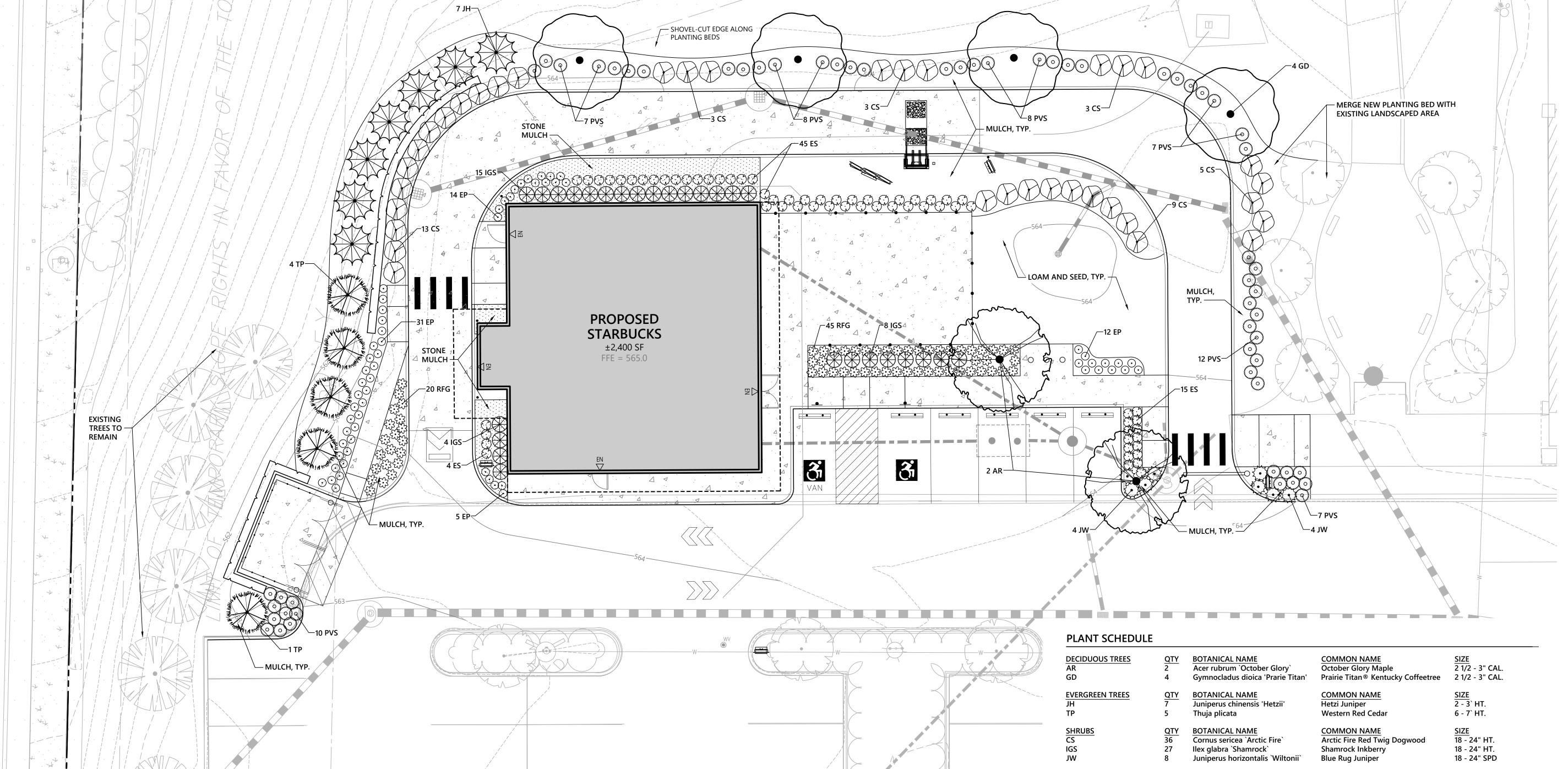
#### Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- 3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



Suite 200 Wethersfield, CT 06109 860.807.4300

100 Great Meadow Road





# **Proposed Starbucks**

33 Fieldstone Commons Tolland, Connecticut

Designed by	Checked by
KE	PV
Issued for	Date
Local Approvals	May 22, 2023

Not Approved for Construction





SIZE 2 GAL.

2 GAL.

SIZE 1 GAL.

1 GAL.

**COMMON NAME** 

**Purple Lovegrass** 

**COMMON NAME** 

Shenendoah Switch Grass

Goldsturm Black-eyed Susan

BOTANICAL NAME Eragrostis spectabilis

**BOTANICAL NAME** 

Echinacea purpurea

PVS

**PERENNIALS** 

Panicum virgatum `Shenandoah`

Rudbeckia fulgida `Goldsturm`

ct Number **896.00** 

#### Legend CC CONCRETE CURB SGC SLOPED GRANITE EDGING EOP EDGE OF PAVEMENT EOG EDGE OF GRAVEL BIT. BITUMINOUS PAVEMEI MERROW ROAD ROUTE #195 BITUMINOUS PAVEMENT (1939 HIGHWAY LAYOUT) CONC. CONCRETE S/W SIDEWALK UP UTILITY POLE RCP REINFORCED CONCRETE PIPE S 69°45'54" E PVC POLYVINYLCHLORIDE PIPE CMP CORRUGATED METAL PIPE CPP CORRUGATED PLASTIC PIPE DWL DASHED WHITE LINE CATCH BASIN CHB=N 65°56'02" E MANHOLE DMH DRAIN MANHOLE SMH SEWER MANHOLE RIM= RIM ELEVATION INV= INVERT ELEVATION elev. Elevation DEFINED EASEMENT F.F.E. FINISH FLOOR ELEVATION EOR TRAFFIC PURPOSES TYP. TYPICAL DEFINED TRAFEIC EASEMENT EASEMENT FOR HIGHWAY AIR CONDITIONING - EASEMENT TO INSTALL AND Purposed and ELECTRIC BOX MAINTAIN TRAFFIC DEVICES APPURTENANCES ELECTRIC METER AND APPURTENANCES GAS METER HAND HOLE PIN/PIPE FOUND MONUMENT FOUND PROPERTY MARKER SET BUILDING LIGHT EASEMENT IN FAVOR OF CATCH BASIN THE CONNECTICUT LIGHT CATCH BASIN AND POWER COMPANY ROUND CATCH BASIN - VOLUME 974 PAGE 3 DOWNSPOUT DRAIN MANHOLE SEWER MANHOLE ELECTRIC MANHOLE TELEPHONE MANHOLE MANHOLE WATER GATE 🔊 FIRE HYDRANT GAS GATE STREET SIGN LIGHT POLE UTILITY POLE ⇔ UTILITY POLE W/LIGHT GUY WIRE BOLLARD/POST NOW OR FORMERLY 4" PVC STANDPIPE - "1 CAPITOL VENTURES LLC MW — MONITORING WELL 2" PVC STANDPIPE J — — EDGE OF PAVEMENT VOLUME 925 PAGE 30--— — — — — EDGE OF GRAVEL/LANDSCAPE w/transformer MAP 28 BLOCK C LOT 2.03 ---- BUILDING OVERHANG AREA= 893,686± SQ. FT. ———— CURB EXISTING BUILDING (20.516± ACRES) TTTTTTTTTSTEEL GUARD RAIL UNDERGROUND DRAINAGE LINE — — — — — — UNDERGROUND SEWER LINE —— · · · · — OHW — OVERHEAD WIRE – E — UNDERGROUND ELECTRIC LINE ——— G ———— UNDERGROUND GAS LINE PROPERTY LINE INV.A=554.6 INV.B=554.5 INV.C=554.5 INV.D=554.4 CONC. S/W Map Reference x563.8' RIM=563.36 INV.A=555.0 1. MAP TITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR CAPITOL VENTURES, LLC 33 FILEDSTONE COMMONS TOLLAND, CONNECTICUT" SCALE 1"=40', DATED 9/12/06 REVISED TO

RIM=561.65 TOP OF HOOD=558.6 BOT. SUMP=553.4

BENCHMARK

CUT SET ON NORTH

BONNET BOLT OF HYDRAN

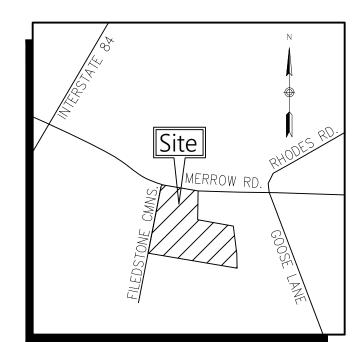
ELEVATION=566.23

DATUM=NAVD88

SCALE IN FEET



100 Great Meadow Road Suite 200 Wethersfield, CT 06109 860.807.4300



Locus Map (NOT TO SCALE)

# Map 28 Block C Lot 2.03

33 FIELDSTONE COMMONS

CHISEL SQUARE CUT SE

ON LIGHT POLE BASE

ELEVATION=567.52'

3/14/2022

DATE

DATUM=NAVD88

ASPHALT

THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1

ACCURACY AND A TOPOGRAPHIC SURVEY CONFORMING TO A

DETERMINATION IS A DEPENDANT RESURVEY.

CHRISTOPHER C. DANFORTH, L.S. #70118

TOPOGRAPHICAL ACCURACY STANDARD CLASS T-2. THE BOUNDARY

THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AMENDED OCTOBER 26, 2018.

THIS IS A PROPERTY SURVEY CONFORMING TO A HORIZONTAL CLASS A-2

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS

NOTED HEREON. THIS PLAN IS NOT VALID WITHOUT A LIVE SIGNATURE AND

Tolland, Connecticut					
No.	Revision	Date	Appvd		

Designed by	Checked by
JDD	CCD
Issued for	Date
Client	March 14, 202

**Property Survey** & Topographic Survey



42896.00

# General Notes

10/13/06, SHEETS 1-3.

1"=100, DATED 2/23/205 REVISED TO 3/9/2005.

142-05 SHEET 3 OF 8" SCALE 1"=40' DATED OCT. 31, 1939.

1. THE PROPERTY MARKERS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY

. MAP TITLED "COMPILATION PLAN MAP DEPICTING EASEMENT AREA TO BE GRANTED TO THE

& ROCKVILLE BANK CONN. ROUTE 195 TOLLAND, CONNECTICUT MAP NO. 9607CLP" SCALE

. MAP TITLED "RIGHT OF WAY SURVEY TOWN OF TOLLAND MAP SHOWING EASEMENT ACQUIRED

TRANSPORTATION MERROW ROAD (CT ROUTE 195)" SCALE 1"=40', DATED FEBRUARY 15, 2005.

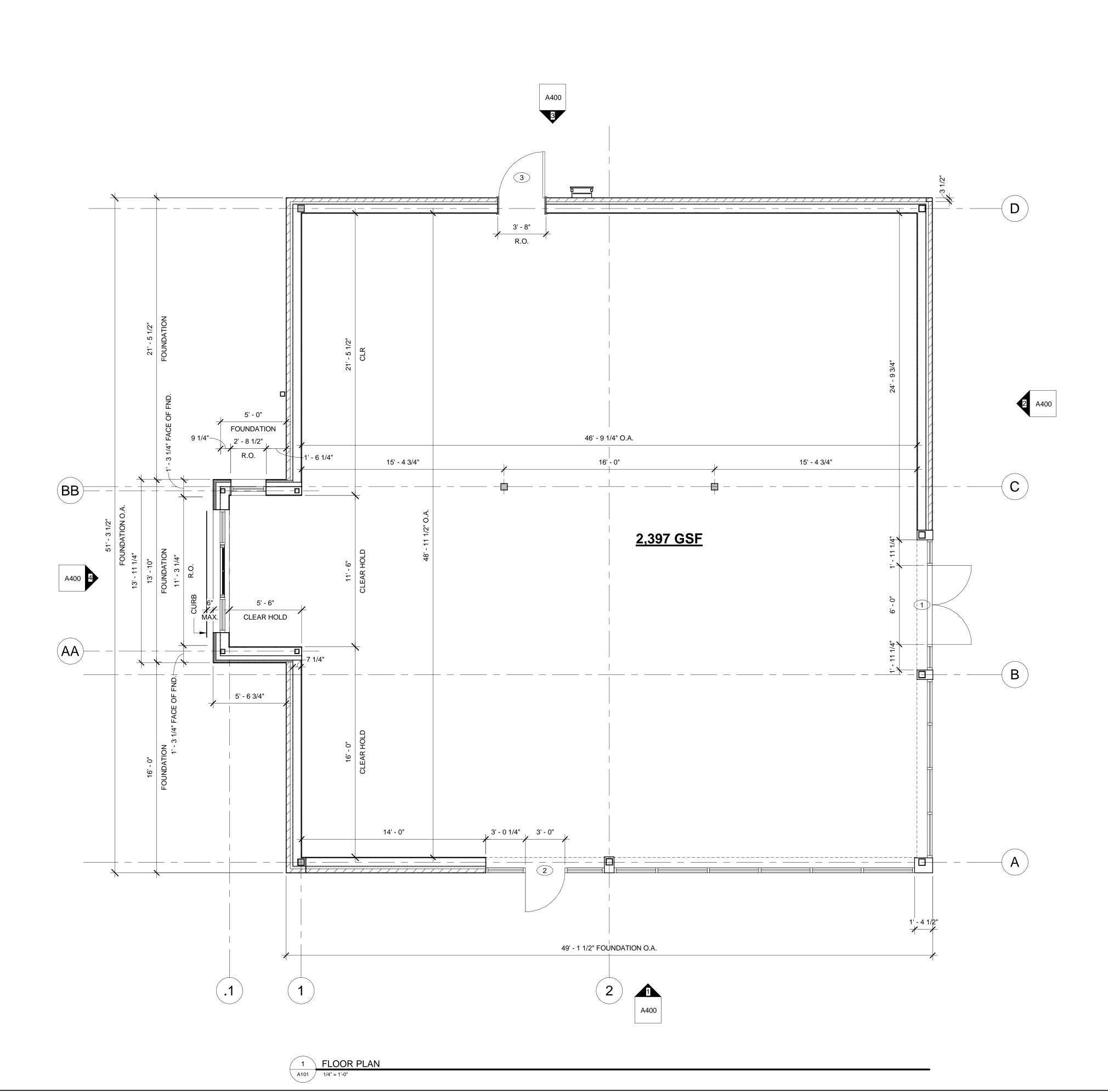
MAP TITLE "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF TOLLAND

MERROW ROAD FROM TOLLAND CENTER SO. EASTERLY TO THE COVENTRY TOWN LINE NUMBER

FROM CAPITOL VENTURES, LLC BY THE STATE OF CONNECTICUT DEPARTMENT OF

CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF CAPITOL VENTURES, LLC

- 3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES DEPICTED ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE DEPICTED ON THIS PLAN.
- CONDUCTED BY VHB ON FEBRUARY 21, 2022.
- 2. THE EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB ON FEBRUARY 21, 2022.
- COORDINATES, HORIZONTAL DATUM AND BEARINGS DEPICTED ON THIS SURVEY ARE REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE GRID SYSTEM - NAD 83. THE VERTICAL DATUM DEPICTED ON THIS SURVEY IS REFERENCED TO THE NAVD88. BOTH DATUMS WERE COMPUTED AND MEASURED USING AVERAGED REAL TIME NETWORK (RTN) GPS SOLUTION.



# GENERAL NOTES

1.) COORDINATE THE ARCHITECTURAL DRAWINGS WITH ENGINEERED CIVIL, STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS WITH THE WORK OF ALL TRADES.

2.) FINISH SLAB-ON-GRADE ELEVATION ASSUMED TO BE 0'-0". COORDINATE THE ACTUAL SITE DATUM WITH THE ENGINEERED CIVIL/SITE

3.) REFER TO THE CIVIL ENGINEERING DRAWINGS FOR GRADING, UNDERGROUND AND SURFACE UTILITIES, SITE IMPROVEMENTS, RETAINING

WALLS, UNDERGROUND DRAINAGE, DETENTION BASINS, EXTERIOR WALKS, PARKING, STRIPING, H.C. SIGNAGE/SYMBOLS, CURB CUTS, LIGHTING, LANDSCAPING, ETC. AIA 201 GENERAL CONDITIONS CONTRACT SHALL BE THE BASIS FOR INCLUDING BUT NOT LIMITED TO GENERAL CONDITIONS.
4.) REFER TO THE ENGINEERED STRUCTURAL DRAWINGS FOR ALL NOTES, INFORMATION, AND DETAILS REGARDING FOOTINGS, FOUNDATIONS, SLABS, REINFORCEMENT, ANCHORING, BRACING, SUPERSTRUCTURE, FRAMING, CONNECTIONS, ETC.

5.) ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF G.W.B. TO FACE OF G.W.B. UNLESS SPECIFICALLY NOTED OTHERWISE. <u>DO NOT SCALE DRAWINGS</u>. REFER TO ENLARGED PLANS AND DETAILS FOR FURTHER DIMENSIONING INFORMATION. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY WRITTEN DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ALL DEVIATIONS AND DISCREPANCIES SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK. RECORD ALL MODIFICATIONS ON THE "AS-BUILTS"- DAILY.

6.) FIRE EXTINGUISHERS TO BE PROVIDED BY TENANT.

7.) THE GENERAL CONTRACTOR (G.C.) SHALL FIELD VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO THE WORK AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT REGARDING ANY DISCREPANCIES.

8.) THE G.C. SHALL SUBMIT ALL SHOP DRAWINGS, SAMPLES, CATALOG CUTS ETC., INCLUDING COLOR CHARTS FOR PAINTS AND STAINS FOR ALL EXTERIOR AND INTERIOR FINISHES, TO THE ARCHITECT FOR SELECTION, REVIEW AND APPROVAL PRIOR TO FABRICATION, ORDERING, OR INSTALLATION. PRIORITIES ANY LONG-LEAD ITEMS.

9.) THE G.C. SHALL COORDINATE THE WORK OF ALL TRADES REGARDING CEILING-MOUNTED AND ABOVE-CEILING-MOUNTED EQUIPMENT, DÉVICES AND FIXTURES.

10.) PERFORM ALL WORK IN ACCORDANCE WITH THE CURRENT MASSACHUSETTS BUILDING CODE & MAAB, AND ADAAG, AS WELL AS ALL LOCAL CODES AND ORDINANCES.

11.) THE G.C. AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES AS REQUIRED BY THE A.H.J.

12.) THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS OFF SITE. 13.) THE G.C. SHALL SEAL ALL THROUGH-WALL & FLOOR PENETRATIONS WITH 3M BARRIER CAULK (O.A.E.) AND SEALANT ON USG SAFING; 2500 PSÍ GROUT AT CMU WALLS.

14.) INSTALL A CONTINUOUS SEALANT BEAD ON BACKER ROD AT ALL JUNCTURES OF DISSIMILAR MATERIALS (E.G.: METAL TO CMU, STEEL TO ALÚMINUM) AND ALL MATERIAL JOINTS AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS, INDUSTRY STANDARDS AND GOOD PRACTICE.

15.) COORDINATE SOLID F.R.T.W. BLOCKING FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES. ADDITIONALLY, F.R.T.W. SHALL BE USED WHEREVER WOOD IS USED, UNLESS OTHERWISE ALLOWED BY MA BUILDING CODE OR OTHER APPLICABLE CODES.

**LEGEND** 

101

16.) PROVIDE CONTINUOUS GALVANIZED METAL EDGE TRIM AT ALL GWB WORK. 17.) THE G.C. SHALL INSTALL ALL INTERIOR FINISHES AT ALL SURFACES INDICATED ON THE DRAWINGS IN CONFORMANCE TO NYS BUILDING

CODE. ALL DOORS SHALL HAVE LEVER HARDWARE TO CONFORM TO MAAB AND ADAAG. 18.) INSTALL USG .093 (OR APPROVED EQUAL) CONTROL JOINTS @ 30'-0" O.C. MAX. OR AS PER MANUFACTURER'S SUGGESTED DETAILS AND

19.) FILL ALL VOIDS AT EXTERIOR WALL NOT VENTED TO THE EXTERIOR W/ZERO-DRAFT' FOAM INSULATION 20.) G.C. SHALL PROVIDE WATER METER. COORD. SIZE, TYPE & LOCATION W/THE TOWN WATER DEPT.

**ELEVATION** 

**EXTERIOR ELEVATION** 

STOREFRON1

**ROOM NUMBER** 

DOOR NUMBER

WINDOW TYPE

**REVISION CLOUD** 

REVISION NUMBER AND

**ELEVATION** 

Boston + Brockton

142 Crescent Street Brockton, MA 02302 508.583.5703

bkaarchitects.com

ARCHITECT

CONSULTANT

**ISSUES & REVISIONS** 

04/24/2023 - FOR CLIENT REVIEW

05/22/2023 - SITE PLAN REVIEW

OWNER/CLIENT

PROJECT STARBUCKS SHELL

33 FIELDSTONE COMMONS TOLLAND, CONNECTICUT

DRAWING TITLE FLOOR PLAN

**DRAWING INFORMATION** Job Number: 223065

Checked By: KTB Drawn By LMH DRAWING NUMBER

A. SIGNAGE UNDER SEPERATE PERMIT

B. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.

C. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.

D. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.

E. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO STARBUCKS DESIGNER FOR APPROVAL.

F. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT

G. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.

H. ALL EXTERIOR UTILITY METER PANELS SHALL BE PAINTED TO MATCH ADJACENT SURFACES.

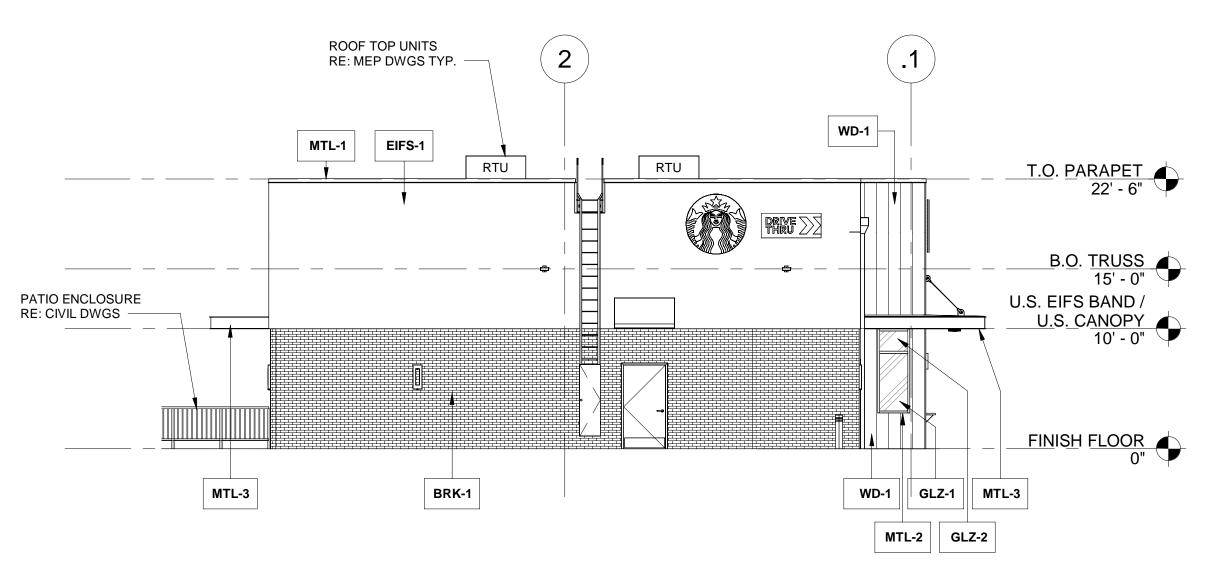
I. GENERAL CONTRACTOR TO FINISH SAMPLES TO OWNER AND ARCHITECT FOR FINAL APPROVAL PRIOR TO INSTALLION.

NO.	MATERIAL	MFG/FINISH/STYLE	COLOR	COMMENTS
BRK-1	FULL BRICK VENEER	MORA CERAMICA, MODULAR 3-5/8" x 2-1/4" x 7-5/8"	SILVER GRAY SMOOTH WITH MATCHING MORTAR	COMMENTO
EFIS-1	EFIS	DRYVIT SANDPEBBLE FINE TEXTURE W/ STRATOTONE COLORANT	STAR-05 1022 ST	
GLZ-1	GLAZING	SOLAR BAN 60 CLEAR	CLEAR	REFER TO SHEET A700 FOR TEMPERED GLASS LOCATIONS
GLZ-2	GLAZING	SPANDREL		
MTL-1	METAL COPING	PRE-FINISHED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-2	ALUMINUM STOREFRONT SYSTEM	ANODIZED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-3	BRAKE METAL	POWDERCOAT	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-4	HOLLOW METAL DOOR & FRAME	SHERWIN WILLIAMS PAINTED	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
MTL-5	METAL AWNING	POWDERCOAT	TO MATCH RAL#7021 MATTE MT0028-FLAT BLACK	
WD-1	WOOD SIDING	RESAWN TIMBER CO. SEALED FACE AND BACK 3/4" THICK X 5-3/8" WIDE X 8' X 16' RANDOM LENGTHS	UNAGI- SHOU SUGI BAN W/ DADOS PROFILE	VERTICAL ORIENTATION
WD-4	ACCOYA WOOD SIDING @ UNDERSIDE OF CANOPY	TONGUE AND GROOVE PLANK SEALED FACE AND BACK 3/4" THICK X 5-3/8" WIDE X 8'-16' RANDOM LENGTHS	GOBI	

SIGNAGE UNDER SEPERATE PERMIT BY OTHERS EMERGENCY OVERFLOWS TYP. D EIFS-1 WD-1 MTL-1 MTL-1 EIFS-1 \_T.O. PARAPET \_ B.O. TRUSS U.S. EIFS BAND / U.S. CANOPY FINISH FLOOR 0" BRK-1 BRK-1 WD-1 | GLZ-2 | GLZ-1 MTL-2 MTL-3

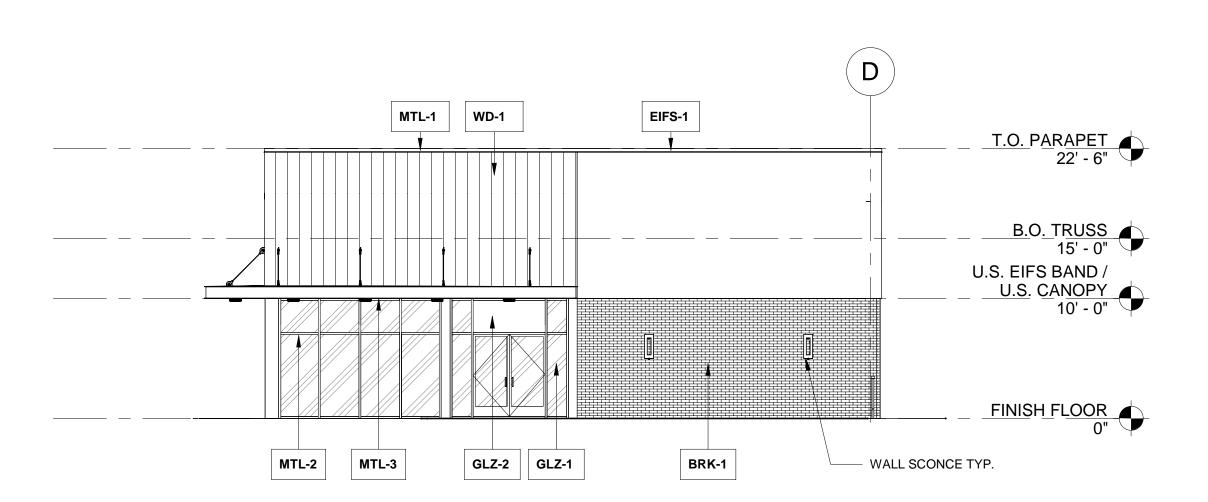
WEST ELEVATION

| Scale | 1/8" = 1'-0"



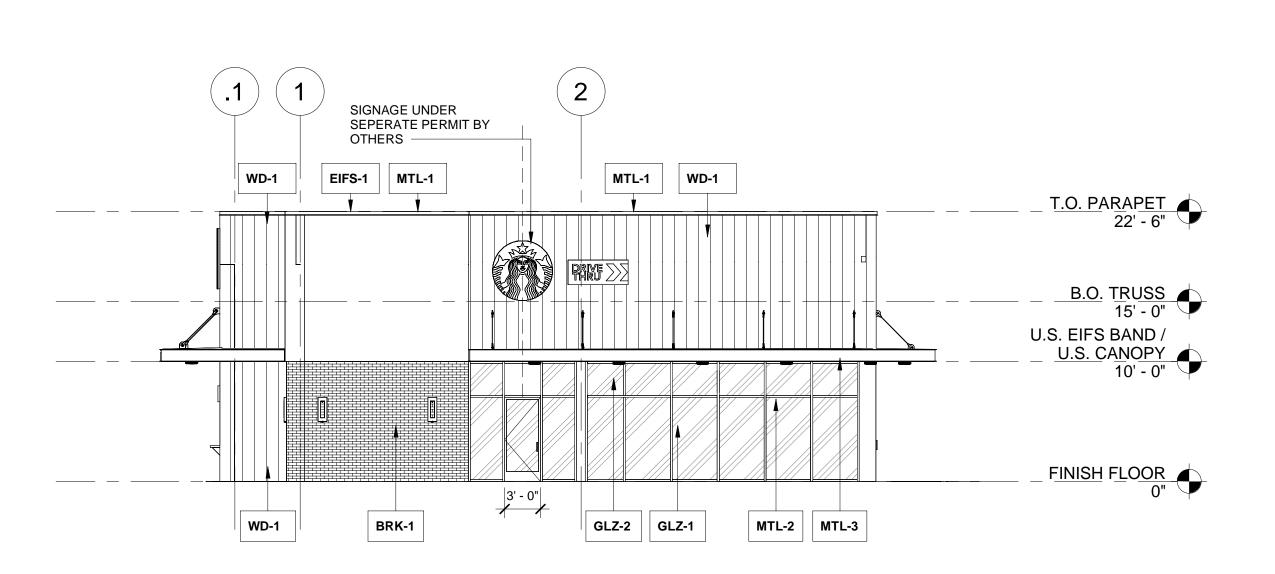
NORTH ELEVATION

Scale 1/8" = 1'-0"



2 EAST ELEVATION

Scale 1/8" = 1'-0"



SOUTH ELEVATION

Scale 1/8" = 1'-0"

ARCHITECT RKA

KA ARCHITEC

Boston + Brockton

9/27/22 142 Crescent Street Brockton, MA 02302 508.583.5703 bkaarchitects.com

CONSULTANT

SEAL



ISSUES & REVISIONS

04/24/2023 - FOR CLIENT REVIEW 05/22/2023 - SITE PLAN REVIEW

OWNER/CLIENT

PROJECT
STARBUCKS SHELL

33 FIELDSTONE COMMONS TOLLAND, CONNECTICUT

DRAWING TITLE
EXTERIOR
ELEVATIONS

DRAWING INFORMATION
Job Number: 223065
Checked By: KTB
Drawn By LMH

DRAWING NUMBER

A400





## Article 10: Gateway Design District (GDD)

#### Section 10-1. Purpose

The purpose of the Gateway Design District is to:

- A. Create an attractive entrance to Tolland while encouraging coordinated commercial, office, mixed-use and multi-family developments with high design standards at the interstate gateway entrances to the community;
- B. Promote compact commercial development having scale and form consistent with the natural landforms of the site and the character of the town; and
- C. Promote greater diversity in housing options by encouraging multi-family housing in appropriate locations served by public water and sewer and in walkable distance to commercial centers.

#### Section 10-2. General Concepts/Design Guidelines

These standards and guidelines require a basic level of architectural variety, compatible scale, and mitigation of negative impacts. They are not intended to limit creativity. The purpose of these standards and guidelines is to augment existing criteria with more specific interpretations that apply to the design of GDD developments. This district is intended to encourage smaller sites to combine with other sites in order to provide larger-scale sites and developments.

#### A. Siting

- Depending on the overall site design, and where otherwise practicable, buildings should be sited toward the front of the lot and should maintain a pleasing spatial relationship with other buildings and public and interior-access roadways.
- 2. Structures should be sited in small groups wherever feasible.
- The use of additive massing (the bulk of the building is broken into smaller sections and horizontally offset) to provide visual interest is desired.
- 4. All effort should be made to preserve and enhance historic structures, unique landforms, rock outcrops, stone walls, vegetation, views, etc. and incorporate them into site design.
- 5. Siting should not be detrimental to scenic vistas of the gateway from any public street including I-84. Items of special concern include the placement of dumpsters, loading docks, roof-mounted mechanical units, and antennas.
- 6. The design of the storm water treatment system shall contain strategies associated with low impact development to the maximum extent possible (MEP) as outlined in the Town

of Tolland Design Manual. This provision shall also apply to improvements or redevelopment of existing commercial sites. If stormwater detention/retention basins are necessary, provisions shall be made for shared structures and shared maintenance to the maximum extent feasible.

#### B. Access

- Access management will be required on all sites, in order to reduce the number of driveway cuts onto adjacent roads and mitigate the deterioration of traffic flow generally caused by driveways on public roads. Access management techniques include shared driveways (or provisions for future shared driveways for the first site in the area) or interconnected driveways.
- 2. Use shared parking with abutting properties wherever feasible.
- 3. Provide safe, convenient pedestrian circulation, which also provides access to off-site sidewalks, trails, parks and other public places.
- 4. Locate large parking areas at the side or rear of building where practical with landscaping designed to create visual assets.

#### C. Site Amenities

- 1. Create pedestrian spaces such as plazas, "greens", commons and terraces within the development.
- 2. Add or create amenities such as benches, fountains, sculptures, art, bike racks, sitting walls, planters, period-style lighting or banners.
- 3. Use creative landscaping design, with plantings of sufficient size and quantity to clearly enhance the site.

#### D. Architectural Guidelines

The purpose of architectural design review is to provide insights regarding Tolland's design objectives, to encourage aesthetically pleasing commercial structures, to reduce massive scale and uniform impersonal appearance, to provide visual interest and scale consistent with the Town's identity, size and character. All applications for Special Permit shall require design review with consideration given to the following guidelines:

- 1. Facades.
  - a. No uninterrupted length of any facade shall exceed 100 feet and shall incorporate wall plane projections or recesses.

- b. The ground floor facade facing a public street should incorporate display windows, awnings or other such features to create visual interest.
- c. Windows should be recessed and should include visually prominent sills, shutters or other such forms of framing.
- d. All building facades that are visible from a public street, including I-84 and its ramps, should be attractively designed with windows and other architectural elements so that no visible elevations looks like the back of a building.

#### 2. Roofs.

- a. Variations in roof lines should be used to add interest and complement the character of the Town.
- b. Rooftop equipment such as HVAC units shall be screened from public view with parapets featuring three dimensional cornice treatments.
- 3. Materials, colors and detail features.
  - a. Building facades should include a repeating pattern including color, texture or change of materials.
  - b. Predominant exterior building materials should be high quality materials such as brick, wood, sandstone and other native stone or tinted textured, concrete masonry units.
  - c. Facade colors should be low reflectance, subtle, neutral or earth tone colors. The use of high intensity colors, metallic colors, black or fluorescent colors is discouraged.
  - d. Predominant exterior building materials should not include smooth-faced concrete block or pre-fabricated steel panels.

#### Section 10-3. Uses

#### A. Permitted Uses

The followings principal uses are permitted, if legally existing on or before August 1, 2000:

- 1. Single-family dwelling.
- 2. Motor vehicle sales.
- 3. Motor vehicle repair.
- 4. Accessory uses subject to the provisions of Article 17.

### **Design Advisory Board**

### **Meeting Minutes**

21 Tolland Green, Level 2, Conference Room B, Tolland, Connecticut

Thursday, March 3, 2022

**Members Present**: Sudhakar Nagardeolekar (Chair), Vikas Nagardeolekar (Vice Chair), Bill Byers, Kimberly Rogers

**Others Present**: David Corcoran (Director of Planning & Development), Kevin Santini, Eric Santini, Eric Peterson

S. Nargardeolekar called the meeting to order at 7:03 PM

# 10 Fieldstone Commons – Applicant: Fieldstone Ridge, LLC – Review of Landscaping and Building Design.

The 10 Fieldstone Commons application was discussed. The applicant Fieldstone Ridge, LLC for the 10 Fieldstone project made a detailed presentation. The Drawings presented for review at this meeting met the criteria set by the Design Advisory Board. The Design Advisory Board noted they received a meeting notice on February 24, 2022, for a meeting to be held on March 3, 2022. This time line did not allow DAB Members to review the drawing in detail for their comments. In general, the project design as presented to DAB, is satisfactory. DAB needs to review in detail following items:

- 1) Detail review of proposed landscaping.
- 2) Review of proposed Building material samples and color co-ordination.

The Design Advisory Board is also concerned about the secondary means of egress from the project site, for providing proper turning radius for firefighting equipment

#### **DAB Member Re-Appointment** –

Everybody is interested in being appointed. Discussed open position and trying to fill the empty slot. D. Corcoran will work with Town to send an e-mail blast for the position. They are looking for somebody with landscape/design experience and plant knowledge.

#### **Approve Minutes – August 5, 2021 Regular Meeting**

V. Nagardeolekar moved and K. Rogers seconded to approve the minutes.

The meeting was adjourned at 8:15 PM.

Respectfully Submitted,

David Corcoran, Director of Planning and Development